

SITE INFORMATION					
JURISDICTION:		CITY OF FLORENCE			
PARCEL IDENTIFICATION NO.:		00099-01-194			
ZONING:		B-3 PUD			
OVERLAY DISTRICT		NONE			
FLOOD ZONE CLASSIFICATION:		ZONE X			
PROPOSED BUILDING					
HEIGHT =		23'-3"			
SEATS =		52			
GROSS AREA =		2697 SQ. FT.			
DINING AREA =		950 SQ. FT.			
CONSTRUCTION TYPE =		TYPE V-B			
SETBACK & BUFFERS					
BUILDING SETBACKS			LANDSCAPE BUFFERS		
FRONT	S	35 FT	FRONT	S	8 FT
REAR	N	20 FT	REAR	N	5 FT
SIDE	E	5 FT	SIDE	E	5 FT
SIDE	W	5 FT	SIDE	W	5 FT
PARKING LOT REQUIREMENTS					
MIN. PARKING PER CODE			ONE (1) SPACE PER 150 GFA		
MIN. PARKING REQUIRED			2,697 SF / 150 GFA = 18 SPACES		
MAX. PARKING PER CODE			NONE		
MAX. PARKING ALLOWED			NONE		
MIN. DRIVE AISLE WIDTH			24 FT		
MAX. NO. OF PARKING BEFORE LANDSCAPE ISLAND				10	
MIN. LANDSCAPE ISLAND SIZE				9' X 18'	
		MIN. REQUIRED	PROPOSED		
BICYCLE PARKING		NONE	NONE		
DRIVE-THRU STACK		NONE	16		
DRIVE-THRU WAITING SPACE		NONE	2		
BYPASS LANE		NONE	10'		
LOADING ZONE		N/A	N/A		
PARKING PROPOSED					
SPACE TYPE		SIZE	NO. PROPOSED		
REGULAR		9' X 18'	43		
ACCESSIBLE		9' X 18'	2		
TOTAL			45		
SITE AREA CALCULATIONS					
SITE		±0.95 AC.	41,233 SQ. FT.		
PERVIOUS		±0.19 AC.	8125 SQ. FT.		
IMPERVIOUS		±0.76 AC.	33109 SQ. FT.		
DISTURBED		±1.17 AC.	50755 SQ. FT.		
		MAX ALLOWED	PROPOSED		
I.S.R.		90%	80%		
F.A.R.		NONE	NONE		
BASE INFORMATION					
NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.R.M. MAP NO. 45041C0129E, DATED 12/16/2014.					
BASE CONDITIONS PROVIDED BY ERVIN ENGINEERING CO., INC., DATED 10/04/2023 (SEE SHEET C02.0 & C02.1).					
12" WATER MAIN LOCATION APPROXIMATED. DIGITIZED LOCATION PROVIDED BY CITY OF FLORENCE GIS.					

PANDA EXPRESS STANDARD NOTES

1. THE GEOTECHNICAL INVESTIGATION PREPARED BY TERRACON, DATED 02/16/2024 AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORT'S RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORT'S RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION ETC.
2. CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

SITE DEVELOPMENT PLANS FOR:



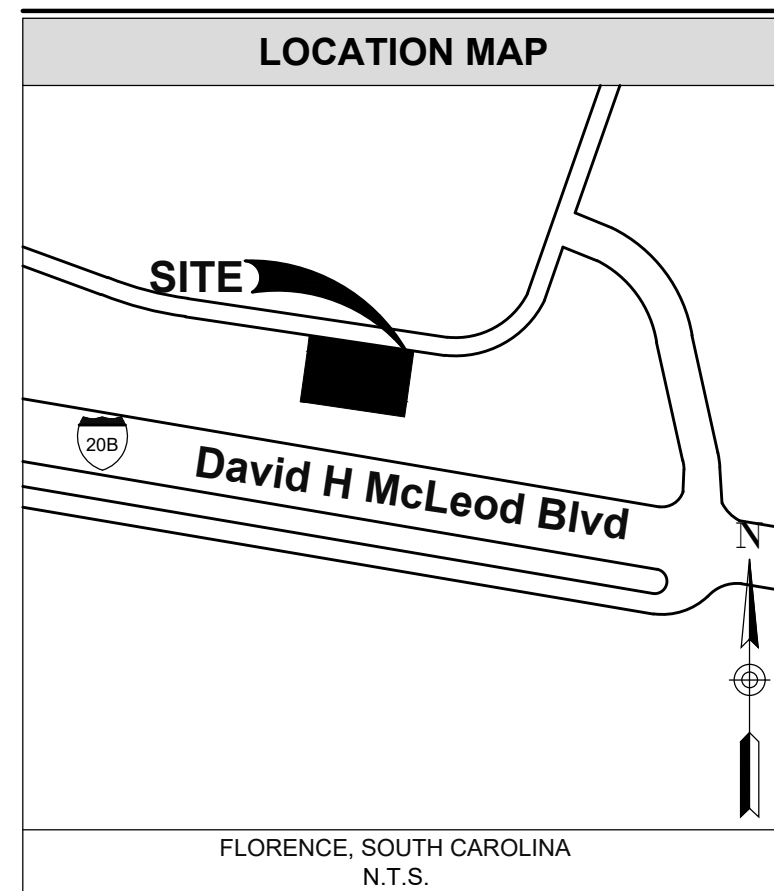
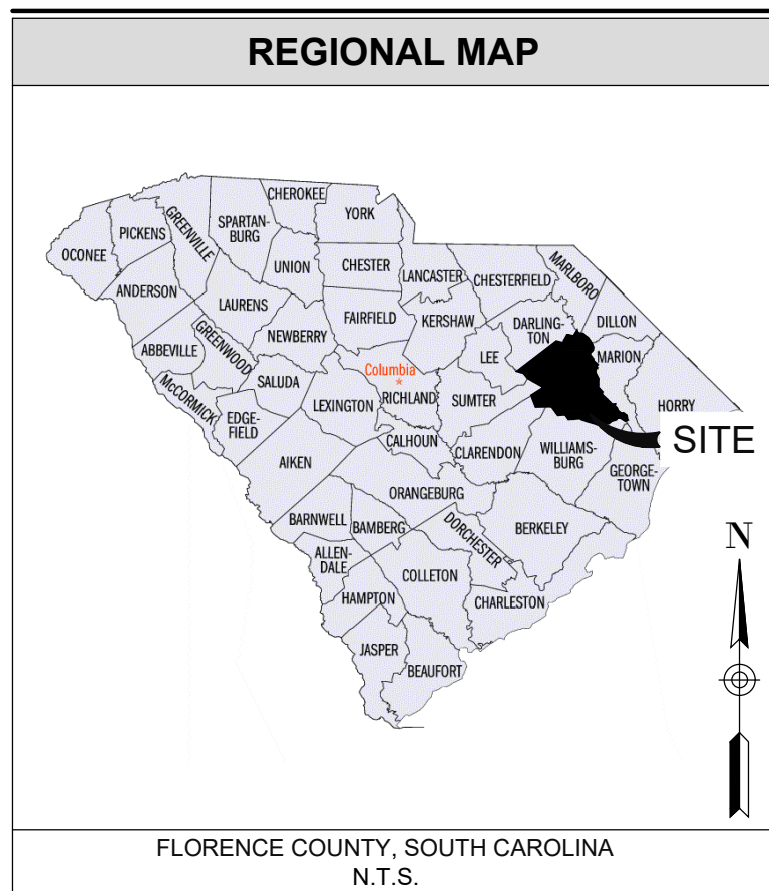
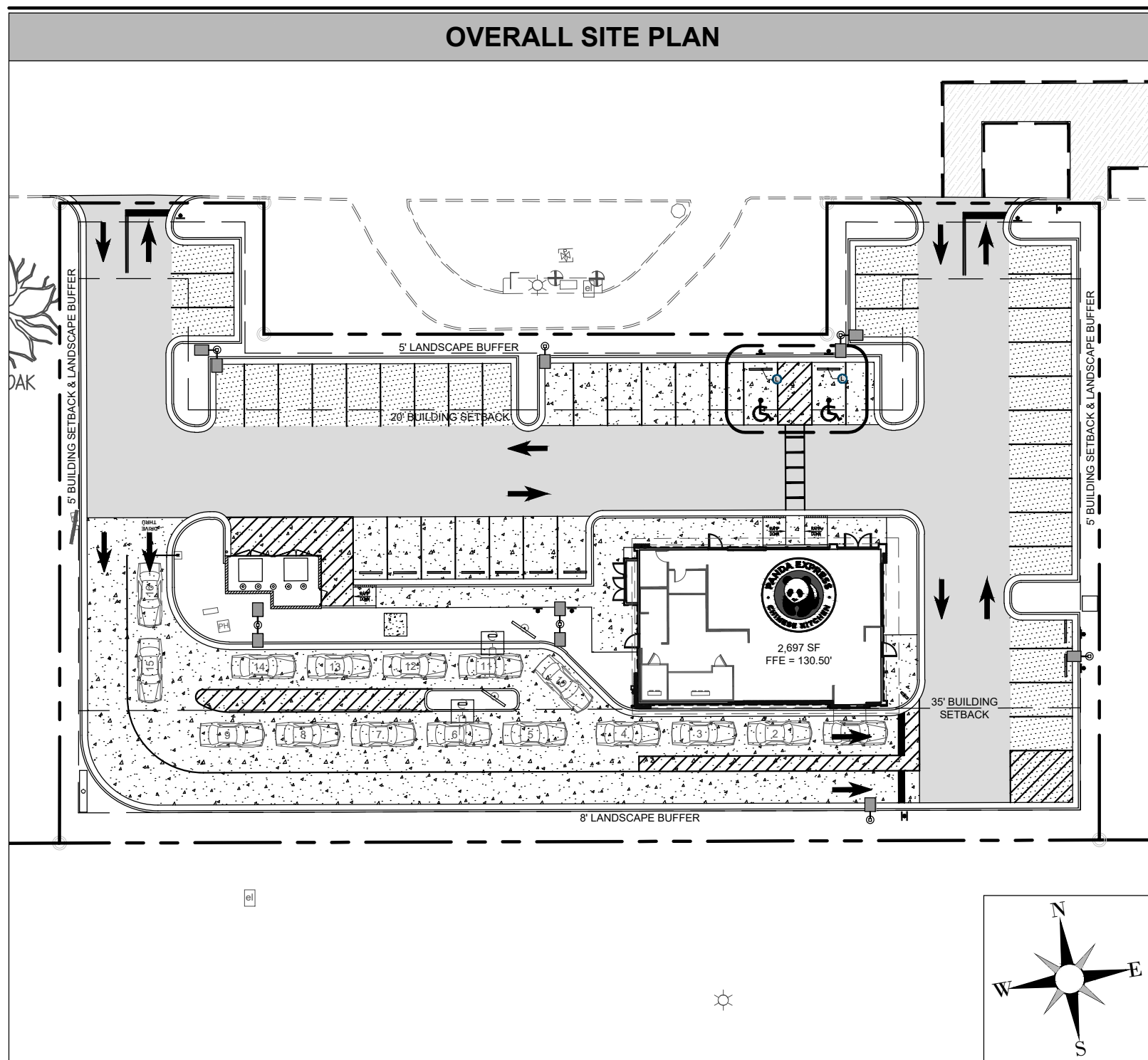
PANDA EXPRESS - OUTPARCEL AT MAGNOLIA MALL D26523, STORE: 3877 2661 DAVID H. MCLEOD BLVD. FLORENCE, SOUTH CAROLINA 29501 FLORENCE COUNTY

PREPARED BY:



PREPARED FOR:

PANDA RESTAURANT GROUP, INC.
1683 WALNUT GROVE AVENUE
ROSEMEAD, CA 91770
PHONE: (626) 799-9898

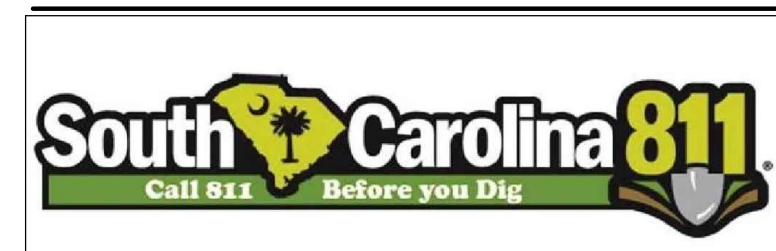


PROJECT CONTACTS			
SELLER PR MAGNOLIA LLC 200 SOUTH BROAD STREET PHILADELPHIA, PA 19102	DEVELOPER PANDA EXPRESS, INC. 1683 WALNUT GROVE AVENUE ROSEMEAD, CA 91770 PHONE: (626) 799-9898	CIVIL ENGINEER INGENIUM ENTERPRISES, INC. JAMES NEFF, P.E. 5995 PARKWAY NORTH BLVD. SUITE B CUMMING, GA 30040 PHONE: (770) 437-8850 PERMITTING@INGENIUMENTERPRISES.COM	LANDSCAPE ARCHITECT WAS DESIGN JARED ACY 1510 NORTH STATE STREET SUITE 300 JACKSON, MISSISSIPPI 39202 JACY@WAS-DESIGN.COM
ARCHITECT LARSON DESIGN GROUP GEORGE AZIZ 495 N KELLER RD SUITE 101 MAITLAND, FL 32751 GAZIZ@LARSONDESIGNGROUP.COM PHONE: (689) 229-2183	MEP LARSON DESIGN GROUP GEORGE AZIZ 495 N KELLER RD SUITE 101 MAITLAND, FL 32751 GAZIZ@LARSONDESIGNGROUP.COM PHONE: (689) 229-2183	LAND SURVEYOR ERVIN ENGINEERING CO., INC. 341 WEST EVANS STREET FLORENCE, SC 29501 PHONE: (843) 662-4941 JBE@ERVINENGINEERING.COM	SITE LIGHTING VILLA LIGHTING RYAN ZINSELMEIER 2929 CHOITEAU AVENUE SAINT LOUIS, MISSOURI 63103 (341) 633-0423 RYAN.ZINSELMEIER@VILLALIGHTING.COM
SIGNAGE ALLEN INDUSTRIES GEORGE THOMSON 4100 SHERATON COURT GREENSBORO, NC 27410 GEORGE.THOMSON@ALLENINDUSTRIES.COM	MUNICIPAL SEWER AGENCY CITY OF FLORENCE LUCINDA HUBBS 324 WEST EVANS STREET FLORENCE, SC 29501 PHONE: (843) 665-2047, EXT. 1167 LHUBBS@CITYOFFLORENCE.COM	MUNICIPAL WATER AGENCY CITY OF FLORENCE LUCINDA HUBBS 324 WEST EVANS STREET FLORENCE, SC 29501 PHONE: (843) 665-2047, EXT. 1167 LHUBBS@CITYOFFLORENCE.COM	ELECTRIC DUKE ENERGY PHONE: (800) 251-7234
GAS DOMINION ENERGY RON HARRELSON 18112 NOTH IRBY STREET FLORENCE, SC 29501 PHONE: (843) 676-3627 RON.HARRELSON@DOMINIONENERGY.COM	TELEPHONE/CABLE AT&T PHONE: (888) 516-3037 SPECTRUM PHONE: (888) 406-7063	FIRE CITY OF FLORENCE SHANNON TANNER 324 WEST EVANS STREET FLORENCE, SC 29501 PHONE: (843) 665-3231 STANNER@CITYOFFLORENCE.COM	

SHEET INDEX									
NO.	TITLE	ISSUE 01 - SUBMIT TO PERMIT/BUILD	12/14/2023	PERMIT FOR PERMIT TO CITY OF FLORENCE AND BID REV 1	02/21/2024				
C01.0	COVER SHEET	●	●						
C01.1	GENERAL NOTES	●	●						
C02.0*	ALTA/ACSM SURVEY (BY OTHERS)	●	●						
C02.1*	ALTA/ACSM SURVEY (BY OTHERS)	●	●						
C02.2	DEMOLITION PLAN	●	●						
C03.0	SITE PLAN	●	●						
C03.1	STAKING PLAN	●	●						
C03.2	HARDSCAPE DETAILS I	●	●						
C03.3	HARDSCAPE DETAILS II	●	●						
C03.4	HARDSCAPE DETAILS III	●	●						
C04.0	UTILITY PLAN	●	●						
C04.1	UTILITY DETAILS I	●	●						
C04.2	UTILITY DETAILS II	●	●						
C04.3	UTILITY DETAILS III	●	●						
C04.4	UTILITY DETAILS IV	●	●						
C04.5	UTILITY DETAILS V	●	●						
C04.6	UTILITY DETAILS VI	●	●						
C04.7	UTILITY DETAILS VII	●	●						
C04.8	PIPE PROFILES I	●	●						
C04.9	PIPE PROFILES II	●	●						
C04.10	PIPE PROFILES III	●	●						
C04.11	PIPE PROFILES IV	●	●						
C05.0	GRADING PLAN	●	●						
C05.1	DRAINAGE PLAN	●	●						
C05.2	GRADING AND DRAINAGE DETAILS I	●	●						
C06.0	SWPPP PLAN	●	●						
C06.1	ESPC PLAN - CLEARING PHASE	●	●						
C06.2	ESPC PLAN - GRADING PHASE	●	●						
C06.3	ESPC PLAN - FINAL PHASE	●	●						
C06.4	ESPC DETAILS I	●	●						
C06.5	ESPC DETAILS II	●	●						
C06.6	ESPC DETAILS III	●	●						
L01.0*	TREE REMOVAL PLAN	●	●						
L01.1*	LANDSCAPE PLANTING PLAN	●	●						
L01.2*	MULCHING AND EDGING PLAN	●	●						
L01.3*	PLANTING SCHEDULE	●	●						
L01.4*	PLANTING DETAILS AND SPECIFICATIONS	●	●						
L02.0*	IRRIGATION PLAN	●	●						
L02.1*	IRRIGATION SPECIFICATIONS	●	●						
L02.1*	IRRIGATION DETAILS	●	●						
SL01.0*	SITE LIGHTING PLAN	●	●						
*SHEETS DENOTED WITH AN ASTERISK (****) ARE NOT INCLUDED IN THE SEAL OF THE CIVIL ENGINEER (JAMES NEFF, P.E.) AND ARE INCLUDED FOR REFERENCE PURPOSES ONLY.									

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING FEATURES, INCLUDING BUT NOT LIMITED TO, UTILITIES, EXISTING IMPROVEMENTS, ETC. CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY

THE GEOTECHNICAL INVESTIGATION PREPARED BY TERRACON, DATED 02/16/2024 AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORT'S RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORT'S RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION ETC.



24-HOUR CONTACT:
CLAY WORTHY
(602) 931-6540



PANDA EXPRESS, INC.

1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770

TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01 02/21/2024 CITY COMMENTS

ISSUE DATE:

PERMIT/BID 12/14/2023

PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA

PANDA PROJECT #: D26523

PANDA STORE #: 3877

CIVIL PROJECT #: 230013



INGENIUM ENTERPRISES, INC.

5991 PARKWAY NORTH BLVD.

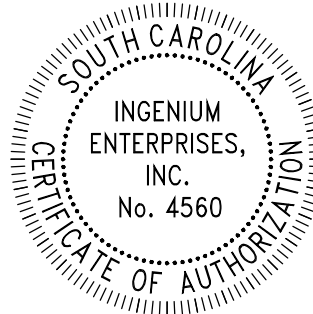
SUITE A

CUMMING, GEORGIA 30040

PHONE: (770) 437-8850

SOUTH CAROLINA CERT. OF

AUTHORITY #4580



COVER SHEET

C01.0

PANDA HOME

GENERAL NOTES

- INGENIUM ENTERPRISES, INC. (IE) REGULARLY UPDATES ELECTRONIC FILES DURING THE DEVELOPMENT OF A PROJECT. AS A RESULT, THE DATA INCLUDED IN ANY CAD FILE OR DRAWING PRIOR TO ITS FINAL RELEASE DOES NOT NECESSARILY REFLECT THE COMPLETE SCOPE OR CONTENT AS DEFINED IN THE CONTRACT. THE CONTENTS IN THESE FILES MAY THEREFORE BE PRELIMINARY, INCOMPLETE WORK IN PROGRESS, AND SUBJECT TO CHANGE. FURTHERMORE, THE INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF IE. THE ORIGINAL IDEAS REPRESENTED HERE BY THIS INFORMATION SHALL NOT BE USED, ALTERED, OR REPRODUCED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF IE.
- DEVIATIONS FROM THESE PLANS AND NOTES WITHOUT PRIOR CONSENT OF THE OWNER, HIS REPRESENTATIVE, OR THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT, READY TO USE, AND ALL ITEMS NECESSARY FOR A COMPLETE AND WORKABLE JOB SHALL BE FURNISHED AND INSTALLED. THIS INCLUDES ALL STRIPING AND SIGNAGE.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE OWNER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN OR NEAR THE CONSTRUCTION SITE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR TO COMPLY WITH ALL OSHA REGULATIONS REQUIREMENTS AND SAFETY MEETING REQUIREMENTS.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL LOCAL, STATE, AND FEDERAL CERTIFICATION AND LICENSING REQUIREMENTS FOR CONSTRUCTION, INCLUDING BUT NOT LIMITED TO: LAND DISTURBANCE PERMITS, BUILDING PERMITS, DEMOLITION PERMITS, NPDES PERMITS, DEWATERING PERMITS, ETC.

GRADING & DRAINAGE NOTES

- SEE LANDSCAPE PLAN FOR REQUIRED TREES AND GROUND COVER.
- SLOPE OF SURFACE GRADE SHALL BE A MINIMUM OF 1.00%.
- MAXIMUM CUT OF FILL SLOPES IS 2H:1V.
- THE CONTRACTOR SHALL PROVIDE CLEAN, SUITABLE MATERIAL FOR REQUIRED FILL, SHOULD A SUFFICIENT QUANTITY OF SUITABLE MATERIAL NOT BE AVAILABLE FROM THE REQUIRED EXCAVATION ON THE SITE.
- MAXIMUM LIFT THICKNESS 8 INCHES OR LESS IN LOOSE THICKNESS WHEN HEAVY, SELF-PROPELLED COMPACTION EQUIPMENT IS USED. 4 TO 6 INCHES IN LOOSE THICKNESS WHEN HAND-GUIDED EQUIPMENT (I.E., JUMPING JACK OR PLATE COMPACTOR) IS USED. MINIMUM COMPACTION REQUIREMENTS 95% OF MAX. ABOVE FOUNDATIONS, BELOW FLOOR SLABS, AND MORE THAN 1 FOOT BELOW FINISHED PAVEMENT SUBGRADE. WATER CONTENT RANGE - GRANULAR: -2% TO +2% OF OPTIMUM. MAXIMUM DENSITY AND OPTIMUM WATER CONTENT AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D 698).
- DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE FULLY CONSTRUCTED AND OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- LENGTH OF RIP-RAP PADS AT PIPE OUTLET STRUCTURES TO BE A MINIMUM LENGTH OF (6) SIX TIMES THE DIAMETER OF THE PIPE.
- JURISDICTIONAL LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.

GENERAL DEMOLITION NOTES

- ALL ITEMS TO BE PROTECTED SHALL BE PROTECTED THROUGH ALL THE PHASES OF CONSTRUCTION UNTIL FINAL ACCEPTANCE BY CITY OF FLORENCE IS RECEIVED.
- CONTRACTOR TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS WITH ALL DEMOLITION ACTIVITIES. IF ADDITIONAL REQUIREMENTS ARE REQUIRED FOR HAZARDOUS WASTE REMOVAL INCLUDING BUT NOT LIMITED TO ASBESTOS, SEPTIC FIELDS, LEAD, PCB, TCP, OR OTHER WASTE OR CONTAMINANT, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH MANDATES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTORS SHALL COORDINATE WITH ALL UTILITY COMPANIES CONCERNING THE ABANDONMENT, RELOCATION AND/OR DEMOLITION OF UTILITIES PRIOR TO CONSTRUCTION. NO WORK IS TO BE PERFORMED ON LIVE LINES UNLESS APPROVED IN WRITING BY THE UTILITY IN ALL CASES. A REPRESENTATIVE FROM THE UTILITY SHALL BE PRESENT FOR INITIAL ABANDONMENT AND/OR LIVE CUTS. CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR UTILITIES AND SHALL PROTECT THEM AT ALL TIMES.
- CONTRACTOR IS RESPONSIBLE FOR PROCUREMENT OF ALL NECESSARY PERMITS.
- DEMOLITION SHALL INCLUDE ALL LABOR, EQUIPMENT, MATERIALS, HAULING, PERMITTING, FEES, AND COORDINATION WITH PUBLIC AND/OR PRIVATE UTILITY REQUIRED TO REMOVE AND PROPERLY DISPOSE OF ANY ITEM NECESSARY TO PERFORM THE REQUIRED DEMOLITION AS INDICATED ON THE PLANS.
- RELOCATION SHALL INCLUDE ALL LABOR, EQUIPMENT, MATERIALS, HAULING, PERMITTING, FEES, AND COORDINATION WITH PUBLIC AND/OR PRIVATE UTILITY REQUIRED TO ADEQUATELY ABANDON ITEMS AS INDICATED ON THE PLANS.
- ABANDONMENT SHALL INCLUDE ALL LABOR, EQUIPMENT, MATERIALS, PERMITTING, FEES, AND COORDINATION WITH PUBLIC AND/OR PRIVATE UTILITY REQUIRED TO ADEQUATELY ABANDON ITEMS AS INDICATED ON THE PLANS.
- THE CONTRACTOR SHALL COORDINATE ALL TREE AND LANDSCAPE REMOVAL WITH THE LANDSCAPE PLANS, ANY DISCREPANCY BETWEEN THIS DEMOLITION PLAN AND THE LANDSCAPE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER IMMEDIATELY.
- THE CONTRACTOR IS FULLY AND COMPLETELY RESPONSIBLE FOR LOCATION, VERIFICATION, PROTECTION, STORAGE, MAINTENANCE, DEMOLITION, REMOVAL, RELOCATION OR ALTERATION OF ALL EXISTING SITE UTILITIES, SITE IMPROVEMENTS, STRUCTURES, OR CONSTRUCTION ELEMENTS AS REQUIRED TO COMPLETE THE WORK THAT ARE SHOWN ON THE PLANS AND OR THAT ARE OBSERVABLE IN THE FIELD, WHETHER CONSPICUOUSLY VISIBLE OR NOT. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME THOROUGHLY FAMILIAR WITH ALL EXISTING IMPROVEMENTS, UTILITIES, AND SITE CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION.
- THIS DEMOLITION PLAN IS FOR GRAPHICAL REFERENCE ONLY. ITEMS NOT DEPICTED ON THESE PLANS MAY BE REQUIRED TO BE PROTECTED, REMOVED, OR RELOCATED. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE LOCATIONS OF ALL EXISTING STRUCTURES, UTILITIES, AND APURTENANCES WITHIN THE LIMITS OF CONSTRUCTION. DEMOLITION INCLUDES BUT IS NOT LIMITED TO THE ITEMS SHOWN ON THIS PLAN.
- THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR ANY EXISTING UNDERGROUND OR OVERHEAD UTILITIES, EVEN WHEN IT IS NOT NECESSARILY INDICATED ON THE PLAN.
- SAWCUT DIMENSIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD STAKE AND CONSULT ENGINEER TO VERIFY PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

GENERAL SITE NOTES

- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING IMPROVEMENTS AND TREES AND OTHER DEBRIS WITHIN THE LIMITS OF THE WORK FROM THE SITE ON SITE BURIAL OF TREES AND OTHER DEBRIS WILL NOT BE ALLOWED. THERE ARE NO KNOWN INERT BURY PITS ON THE SITE AND NONE WILL BE ALLOWED DURING CONSTRUCTION OF THE PROJECT.
- ALL WORK SHALL COMPLY WITH CITY OF FLORENCE, STATE OF SOUTH CAROLINA, AND FEDERAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
- ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
- ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER PRIOR TO USE.
- ALL WORK PERFORMED ON CITY, COUNTY, AND/OR STATE OR FEDERAL RIGHT-OF-WAY SHALL BE IN STRICT CONFORMANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCIES.
- BASE COURSE MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION, AND WORKMANSHIP SHALL CONFORM TO "STATE OF SOUTH CAROLINA" TRANSPORTATION STANDARD SPECIFICATIONS, CURRENT EDITION.
- ALL BUILDING DIMENSIONS SHALL BE CHECKED AND COORDINATED WITH THE ARCHITECTURAL PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- PHOTOMETRIC DESIGNED BY OTHERS. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATION OF POLES WITH PHOTOMETRIC PLAN AND OWNER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

BUILDING AREA NOTES

- MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS UNDER CONSTRUCTION, I.E. IN TIMES OF RAIN OR MUD, ROADS SHALL BE PASSABLE TO EMERGENCY VEHICLES BY BEING PAVED OR HAVING A CRUSHED STONE BASE ETC., WITH A MINIMUM WIDTH OF 20 FEET. THE ACCESS TO BUILDINGS HAVING SPRINKLER OR STANDPIPE SYSTEMS SHALL BE TO WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (NFPA 1141 3-1).
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL AREAS AROUND BUILDING.

GENERAL STAKING NOTES

- ALL RADII ARE 3.0' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL SITE LIGHTING POLE DIMENSIONS ARE TO THE CENTERLINE OF THE POLE, UNLESS OTHERWISE NOTED.
- STAKING OF STRIPING IS TO THE CENTERLINE OF THE STRIPE, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE MEASURED TO THE STRUCTURAL FACE OF THE BUILDING AND NOT THE FACADE UNLESS OTHERWISE NOTED.

GENERAL UTILITY NOTES

- SEE MEP PLANS FOR CONTINUATION OF ALL UTILITIES INTO BUILDING.
- SANITARY LATERALS SHALL HAVE A MINIMUM FALL OF 1.00%.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND THEIR LOCATIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.
- THE FINAL LOCATION OF FIRE HYDRANTS, VALVES, WATER LINES, BACKFLOW PREVENTERS, ETC. SHALL BE DETERMINED DURING CONSTRUCTION. NOTIFY THE ENGINEER OF ANY CHANGES TO LOCATION OR CONFIGURATION. NFPA CODES SHALL BE ADHERED TO.
- THE CONTRACTOR SHALL CONTACT PUBLIC UTILITIES INSPECTIONS AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- ALL WORK TO BE DONE IN STRICT ACCORDANCE WITH LOCAL GOVERNING CODES.
- UTILITY CONDUIT MATERIAL FOR ELECTRIC, TELEPHONE, AND CABLE SHALL BE INSTALLED PER UTILITY PROVIDER SPECIFICATIONS.
- CONTRACTOR TO BUILD CONCRETE TRANSFORMER PAD AND INSTALL SCHEDULE 80 PVC CONDUIT AND PULL STRING WITH SWEEPING BENDS.
- CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL INSTALL GENERAL UTILITY CONDUITS TO PLANTERS AROUND BUILDING AND PATIO. SEE ARCHITECTURAL/MEP PLANS FOR CONTINUATION.

DEFINITIONS

"ISSUED FOR PERMITTING"
DRAWINGS ARE INTENDED FOR SUBMITTAL TO THE JURISDICTION(S) HAVING AUTHORITY FOR REVIEW, COMMENT, AND/OR APPROVAL. DRAWINGS ARE NOT INTENDED FOR PRICING, BID, OR CONSTRUCTION.

"NOT ISSUED FOR CONSTRUCTION"
DRAWINGS ARE INTENDED FOR SUBMITTAL TO THE JURISDICTION(S) HAVING AUTHORITY FOR REVIEW, COMMENT, AND/OR APPROVAL. DRAWINGS ARE NOT INTENDED FOR PRICING, BID, OR CONSTRUCTION.

"ISSUED FOR CONSTRUCTION"
DRAWINGS ARE INTENDED FOR PRICING, BID, AND/OR CONSTRUCTION.

"RIM"
1. THROAT OR GRATE ELEVATION FOR CURB INLETS.
2. TOP OF STRUCTURE FOR JUNCTION BOXES/COCS.
3. TOP OF STRUCTURE FOR SANITARY MANHOLES AND CLEANOUTS.

"M.E.E." (MATCH EXISTING ELEVATION)
IF A ELEVATION IS GIVEN, THEN THE ELEVATION IS INTERPOLATED BY THE EXISTING SURFACE PROVIDED BY THE SURVEYOR AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

"M.F.E." (MATCH FUTURE ELEVATION)
IF A ELEVATION IS GIVEN, THEN THE ELEVATION IS PROVIDED IS CONSIDER THE DESIGNER'S ELEVATION PROVIDED BY THE DEVELOPER'S ENGINEER. THE ELEVATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION BY THE CONTRACTOR AND ALERT THE ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

ABBREVIATIONS

ASPH	=	ASPHALT
BC	=	BOTTOM OF CURB
BFP	=	BACKFLOW PREVENTER
BW	=	SURFACE DIRT GRADE ELEVATION AT BOTTOM OF WALL
CAG	=	CURB AND GUTTER
C.B.	=	CHORD BEARING
CB	=	CATCH BASIN
CF	=	CUBIC FEET
CL	=	CENTERLINE
CML	=	CORRUGATED METAL PIPE
Co	=	GENERAL CLEAN OUT
CONC.	=	CONCRETE
CW	=	COLD WATER SUPPLY
CY	=	CUBIC YARD
DOT	=	DEPARTMENT OF TRANSPORTATION
DI	=	DROP INLET
DS	=	DOWN SPOUT
DIP	=	DUCTILE IRON PIPE
E	=	EAST
EL	=	ELEVATION
EGL	=	ENERGY GRADE LINE
EXIST.	=	EXISTING
FDC	=	FIRE DEPARTMENT CONNECTION
FES	=	FLARED END SECTION
FEE	=	FINISH FLOOR ELEVATION
FH	=	FIRE HYDRANT
GC	=	GENERAL CONTRACTOR
GSF	=	GRASS SQUARE FOOT
GT	=	GREASE TRAP
GV	=	GATE VALVE
HDPE	=	HIGH DENSITY POLYETHYLENE
HGL	=	HYDRAULIC GRADE LINE
HW	=	HOT WATER SUPPLY
IA	=	INTERNAL ANGLE
INV.	=	INVERT
IRR	=	IRRIGATION
L	=	LENGTH OF CURVE
L.C.	=	LENGTH OF CHORD
LFPE	=	LOWER FINISH FLOOR ELEVATION
LP	=	LIGHT POLE/FIXTURE
LS	=	LANDSCAPE
M.E.E.	=	MATCH EXISTING ELEVATION
M.F.E.	=	MATCH FUTURE ELEVATION
MH	=	MANHOLE
N	=	NORTH
NTS	=	NOT TO SCALE
P	=	POINT OF CURVATURE
PI	=	POINT OF INTERSECTION
PIV	=	POST INDICATOR VALVE
PROP.	=	PROPOSED
PT	=	POINT OF TANGENCY
PVC	=	POLYVINYL CHLORIDE PIPE
R	=	RADIUS OF CURVE
RPC	=	REINFORCED CONCRETE PIPE
ROD	=	ROOF DRAIN
R/W	=	RIGHT-OF-WAY
S	=	SOUTH
SF	=	SQUARE FEET
SSE	=	SANITARY SEWER EASEMENT
STD	=	STANDARD
SY	=	SQUARE YARD
T	=	TANGENT OF CURVE LENGTH
TC	=	TOP OF CURB
TB	=	THRUST BLOCKING
TW	=	TOP OF WALL
TYM	=	TYPICAL
W	=	WEST
WM	=	WATER METER
W.S.	=	WATER SURFACE
W.S.E.	=	WATER SURFACE ELEVATION
YR	=	YEAR

SEE SURVEY/EXISTING CONDITIONS FOR ABBREVIATIONS SPECIFIC TO THAT SHEET

PROPOSED LEGEND

GENERAL	LINETYPE/SYMBOL
RIGHT-OF-WAY / PROPERTY LINE	----
CENTERLINE	----
LIMITS OF CONSTRUCTION	---- LOC ----
LIMITS OF GRADING / DISTURBANCE	---- LOD ----
DETAIL REFERENCE	(A)
ADDENDUM AND/OR REVISION REFERENCE	Δ

SITE / HARDSCAPE	LINETYPE/SYMBOL
CHAIN LINK FENCE	=====
RETAINING WALL	=====
SCREEN WALL / DUMPSTER ENCLOSURE	=====
CURB & GUTTER	=====
HEADER CURB	=====
CONCRETE SIDEWALK	=====

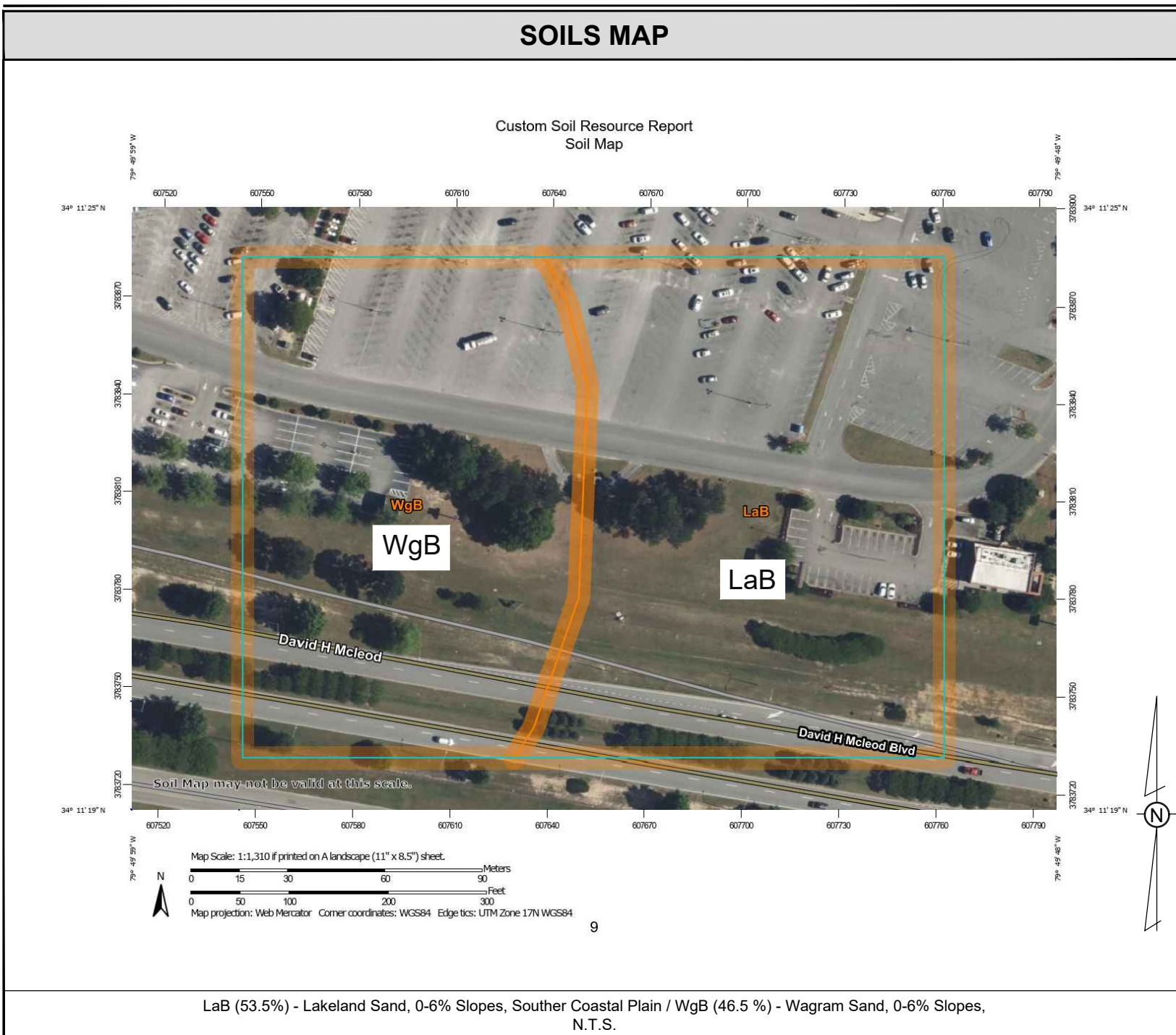
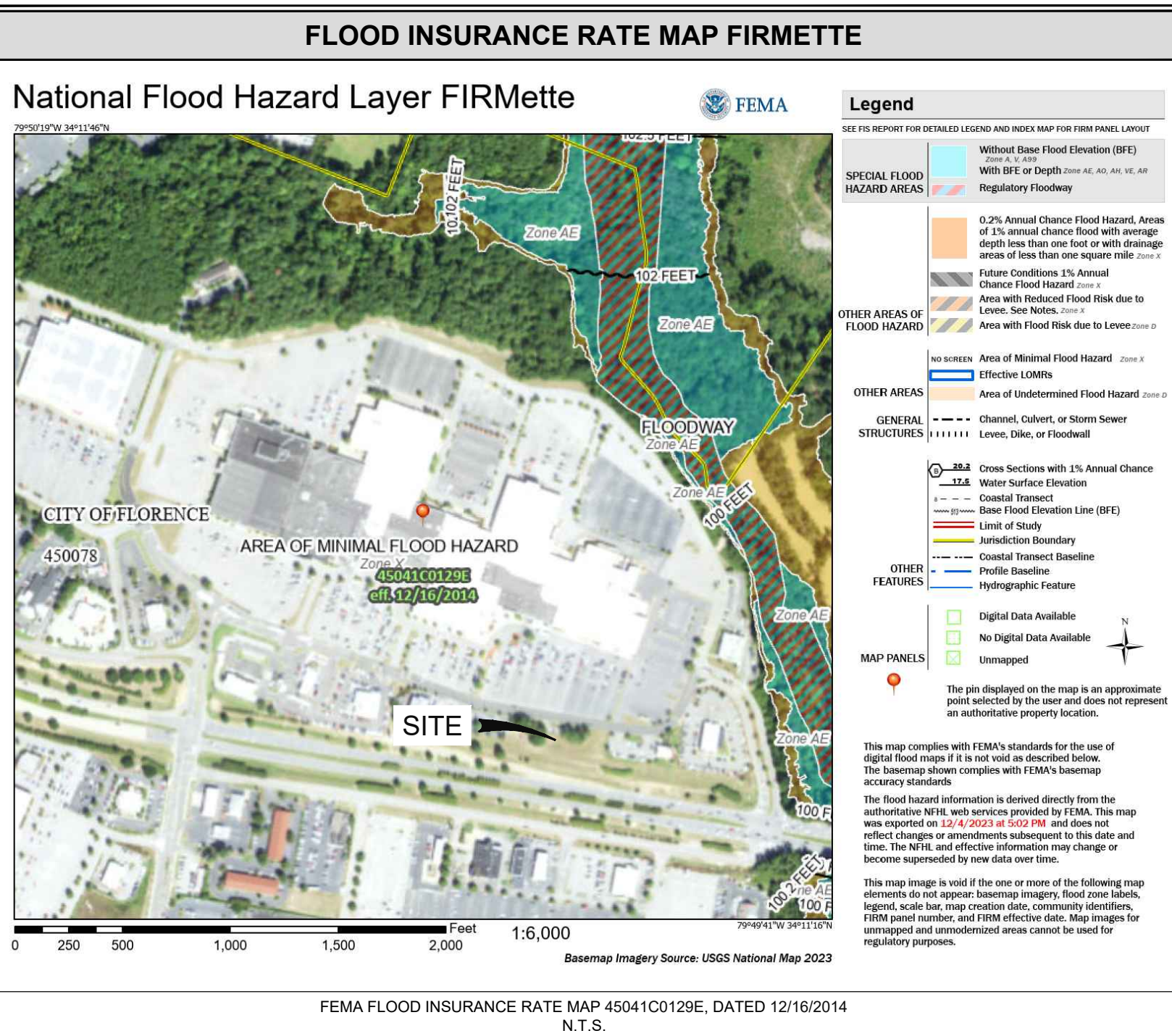
UTILITIES	LINETYPE/SYMBOL
DOMESTIC WATER LINE	— DW — DW —
FIRE WATER LINE	— FW — FW —
BUILDING FIRE SPRINKLER LINE	— FWS — FWS —
IRRIGATION WATER LINE	— IRR — IRR —
DOMESTIC WATER METER (WM)	WM
IRRIGATION METER (IRR)	IRR
BACKFLOW PREVENTER (RP2)	RP2
DC BACKFLOW PREVENTER	DC
FIRE VAULT (DDC)	DDC
WATER TAP OR TEE	+
GATE VALVE (GV)	GV
THRUST BLOCK (TB)	TB
FIRE HYDRANT (FH)	FH
FIRE DEPARTMENT CONNECTION (FDC)	FDC
SANITARY SEWER (SS)	— SS — SS —
GREASE TRAP VENT LINE (GTV)	— GTV — GTV —
SANITARY MANHOLE (SSMH)	SSMH
GENERAL CLEAN OUT (Co)	Co
SANITARY STRUCTURE NUMBER	(S2)
UNDERGROUND ELECTRIC LINE-PRIMARY	— UGE-P — UGE-P —
UNDERGROUND ELECTRIC LINE-SECONDARY	— UGE-S — UGE-S —
POST INDICATOR VALVE	PIV
SITE LIGHTING POLE	■
TRANSFORMER PAD	T
METER/CT PEDESTAL	CT
UNDERGROUND TELEPHONE LINE	— UGT — UGT —
GENERAL UTILITY CONDUIT	— GU — GU —
GAS LINE	— G — G —
GAS METERS	G

** ALL UTILITIES SHALL BE INSTALLED ACCORDING TO UTILITY PROVIDERS AND JURISDICTION STANDARDS AND SPECIFICATIONS.

GRADING / DRAINAGE	LINETYPE/SYMBOL
GRADE	1000
PROPOSED SPOT ELEVATION	1000.00
MATCH EXISTING SPOT	M.E.E.
MATCH EXISTING SPOT W/ ESTIMATED EXISTING ELEVATION	M.E.E. 1000.00
STORM DRAIN	=====
HEADWALL (HW) / FLARED END SECTION (FES)	HW FES
DROP INLET (GRATE)	DI
DROP INLET (GRATE AND HOOD)	DIH
JUNCTION BOX (JB) / OCS	JB
CATCH BASIN (SINGLE WING)	CB
CATCH BASIN (DOUBLE WING)	CB
PEDESTAL TOP	PT
STORM STRUCTURE NUMBER	(A3)
SLOPE ARROW	→

ESPC / BMP	LINETYPE/SYMBOL
CONSTRUCTION ENTRANCE (CE)	CE
SILT FENCE - (SF)	SF
SILT FENCE - DOUBLE (SF)	SF
INLET PROTECTION (IP)	IP
OUTLET PROTECTION (OP)	OP
DUST CONTROL-DISTURBED AREAS	Du
TEMPORARY SEEDING	TS
PERMANENT SEEDING	PS
MULCHING	M
SODDING	SO
SOIL STABILIZATION	SS
TREE PROTECTION	TP

SEE LANDSCAPE/TREE PROTECTION PLANS FOR LEGEND SPECIFIC TO THOSE SHEETS



PANDA EXPRESS, INC.

1683 WALNUT GROVE AVE.
ROSEMead, CALIFORNIA 91770

TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

REVISIONS:

01 02/21/2024 CITY COMMENTS

ISSUE DATE:

PERMIT/BID 12/14/2023

PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA

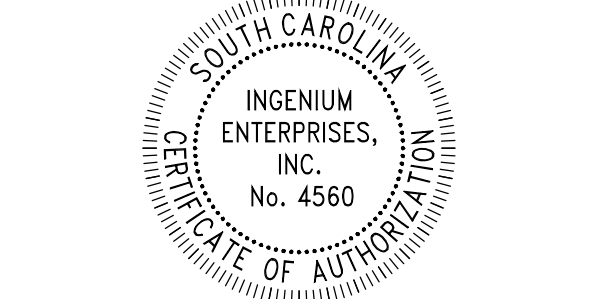
PANDA PROJECT #: D26523

PANDA STORE #: 3877

CIVIL PROJECT #: 230013



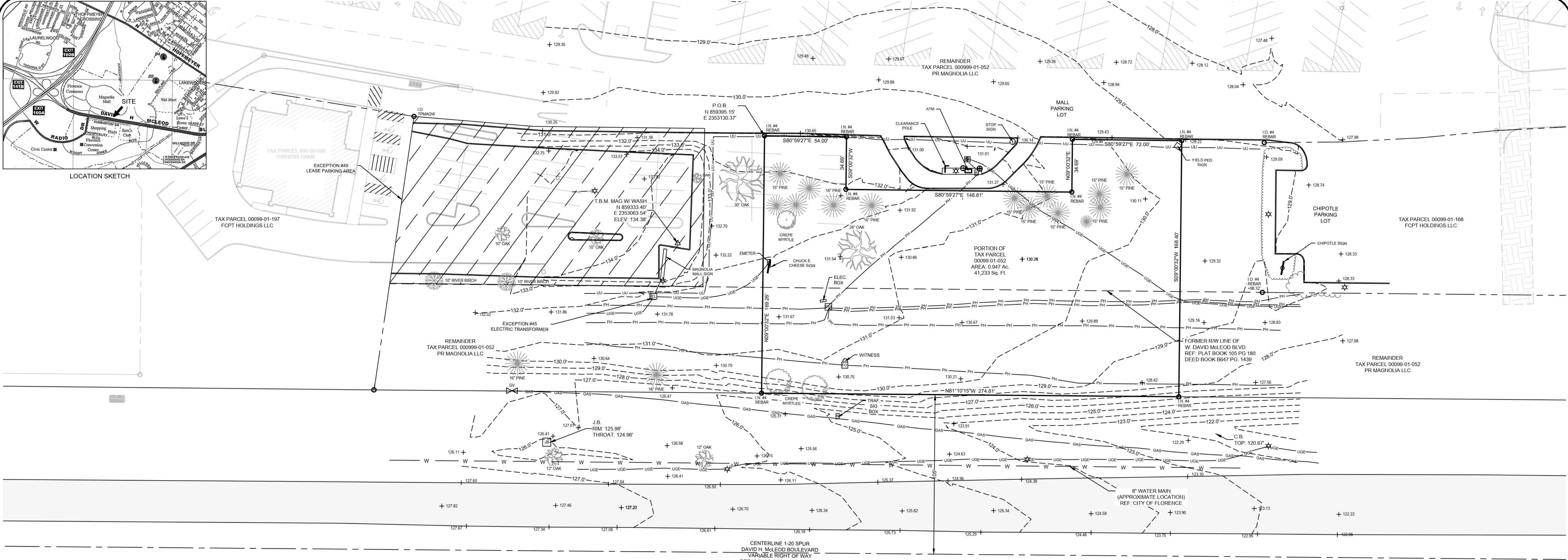
INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF
AUTHORITY #4580



GENERAL NOTES

C01.1

PANDA HOME



RECORD LEGAL DESCRIPTION FROM COMMITMENT

Being a portion of Parcel 1 and Parcel 2:
PARCEL 1
Beginning at an iron pin on the northern right of way of David H. McLeod Boulevard (Interstate 20 Spur) where said line is intersected by the centerline of a sanitary sewer, the easement for same being found on record in Plat Book 10 at Page 49, in the Office of the Register of Deeds for Florence County; thence N76°46'09"W along the right of way of David H. McLeod Boulevard for a distance of 1869.30 feet to an iron pin; thence N55°38'06"W for a distance of 414.50 feet to an iron pin; thence N73°11'13"W for a distance of 155.87 feet to an iron pin; thence N31°39'43"E for a distance of 115.40 feet to an iron pin; thence N13°34'32"W for a distance of 43.12 feet to an iron pin; thence N50°18'37"W for a distance of 163.71 feet to an iron pin; thence N21°20'47"W for a distance of 391.63 feet to an iron pin; thence N23°37'02"E for a distance of 570 feet to a cotton spindle; thence N83°38'23"E for a distance of 370.40 feet to an iron pin; thence N83°41'21"E along the property line separating Tract 108 from Tract 12 for a distance of 506.04 feet to an iron pin; thence S66°21'42"E for a distance of 852.60 feet to a sanitary sewer manhole located in the centerline of the aforesaid sanitary sewer line; thence S44°56'20"E along the centerline of said sewer line for a distance of 293.51 feet to a manhole; thence S30°13'03"E continuing along the centerline of said sanitary sewer for a distance of 304.44 feet to a manhole; thence S32°20'46"E continuing along the centerline to said sanitary sewer for a distance of 319.76 feet to a manhole; thence S05°07'04"E continuing along the centerline of said sanitary sewer for a distance of 541.84 feet to a manhole; thence S09°41'10"E continuing along said sanitary sewer line for a distance of 293.90 feet to a manhole; thence S39°55'46"E continuing along the centerline of said sanitary sewer 29.97 feet to an iron pin; being the "point of beginning", and containing 72.847 acres, more or less.
LESS AND EXCEPT:
Buffalo Wild Wings Parcel (Parcel ID 00099-01-053):
Property conveyed from PR Magnolia LLC to FCPT Holdings, LLC by Special Warranty Deed to Real Estate recorded on July 10, 2018 in Book 754 Page 37, re-recorded in Book 754 Page 235.
Texas Roadhouse Parcel (Parcel ID 00099-01-194):
Property conveyed from PR Magnolia LLC to FCPT Holdings, LLC by Special Warranty Deed to Real Estate recorded on January 15, 2020 in Book 834 Page 698.
Burger King Parcel (Parcel ID 00099-01-055):
Property conveyed from PR Magnolia LLC to FCPT Holdings, LLC by Special Warranty Deed to Real Estate effective June 23, 2020 recorded August 28, 2020 in Book 871 Page 1970.
Chick-Fil-A Parcel (Parcel ID 00099-01-100):
Property conveyed from PR Magnolia LLC to FCPT Holdings, LLC by Special Warranty Deed to Real Estate effective March 3, 2020 recorded August 26, 2020 in Book 871 Page 158.
IHOP Parcel (Parcel ID 00099-01-197):
Property conveyed from PR Magnolia LLC to FCPT Holdings, LLC by Special Warranty Deed to Real Estate recorded on July 29, 2020 in Book 865 Page 1553.
(Parcel ID 00099-01-198):
Property conveyed from PR Magnolia LLC to FCPT Holdings, LLC by Special Warranty Deed to Real Estate recorded on August 15, 2022 in Book 1007 Page 1701.
PARCEL 2
All that certain piece, parcel or tract of land situate in the City of Florence, County of Florence, State of South Carolina, containing 3.102 acres (135,118 sq ft.) the same being a portion of 1-20 Spur Right-of-Way (David H. McLeod Boulevard) and being more particularly described as follows to wit; beginning at a #4 rebar on the northern right of way of 1-20 Spur, David H. McLeod Boulevard, located at station 36+81.49 on SCOOT file number 21.553 and labeled "P.O.B." on survey, thence, S81°04'59"E 387.62 feet, thence, S81°04'59"E 1736.52 feet, thence, S08°55'01"W 70.00 feet, thence, N81°04'59"W 1736.39 feet, thence, N10°55'59"W 394.01 feet to the **POINT OF BEGINNING**.
EASEMENT PARCEL 1
Easements contained in that certain Cross Easement Agreement between First Union National Bank of South Carolina and Fairfield Associates Limited Partnership (Florence) dated March 1, 1990, and recorded March 7, 1990 in the Office of the Register of Deeds for Florence County in Book A-318 at Page 274.
EASEMENT PARCEL 2
Easements contained in that certain Easement Deed to First Union National Bank of South Carolina dated March 1, 1990, and recorded March 7, 1990 in the Office of the Register of Deeds for Florence County in Book A-318 at Page 286.
EASEMENT PARCEL 3
Easements contained in that certain Declaration of Easements, Covenants, Conditions and Restrictions by PR Magnolia, LLC and FCPT Holdings, LLC dated June 29, 2018, and recorded July 10, 2018 in the Office of the Register of Deeds for Florence County in Book 754 at Page 50.

GENERAL SURVEY NOTES:

- The Basis of Bearings for this survey is SOUTH CAROLINA STATE PLANE ZONE 3900, NAD83.
- Utility Note: The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.
- This survey was made in accordance with laws and/or Minimum Standards of the State of SOUTH CAROLINA.
- The property described hereon is the same as the property described in CHICAGO TITLE INSURANCE COMPANY Policy No. 12866.2685 with an effective date of JULY 7, 2023 and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted as to their effect on the subject property.
- Said described property is located within an area having a Zone Designation X by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 45041C0129E with a date of identification of 12/16/2014, for Community No. 450078, in FLORENCE COUNTY UNINCORPORATED, STATE OF SOUTH CAROLINA, which is the current Flood Insurance Rate Map for the community in which said premises is situated.
- The Property does not have direct access to a dedicated public street or highway.
- The total number of striped parking spaces on the subject property is 37, including 0 designated handicap spaces.
- There is no observed evidence of current earth moving work, building construction or building additions [except as shown or noted hereon].
- There is no observed evidence of site use as a solid waste dump, sump or sanitary landfill.

LIST OF POSSIBLE ENCROACHMENTS

The following list of encroachments is only the opinion of this surveyor and should not be interpreted as complete listing.

NONE OBSERVED

SURVEYED LEGAL DESCRIPTION

LEGAL DESCRIPTION:
All that certain parcel of land containing 41,233 square feet or 0.947 acres, more or less, the same being shown as a portion of Tax Parcel 00099-01-052 in the Office of the Tax Assessor for the City of Florence, Florence County, South Carolina and being more particularly described as follows to wit; Commencing at the POINT OF BEGINNING, labeled "P.O.B." on survey, the same being, a #4 rebar, having a South Carolina State Plane Coordinate Value of Northing=859,395.15, Easting=2,353,130.37; thence, S80°59'27"E for a distance of 54.00' to a #4 rebar; thence, S09°00'32"W for a distance of 34.69' to a #4 rebar; thence, S80°59'27"E for a distance of 148.81' to a #4 rebar; thence, N09°00'32"E for a distance of 34.69' to a #4 rebar; thence, S80°59'27"E for a distance of 72.00' to a #4 rebar; thence, S09°00'32"W for a distance of 168.40' to a #4 rebar; thence, N81°10'15"W for a distance of 274.81' to a #4 rebar; thence, N09°00'32"E for a distance of 169.26' to the POINT OF BEGINNING.

EASEMENT PARCEL 1
Easements contained in that certain Cross Easement Agreement between First Union National Bank of South Carolina and Fairfield Associates Limited Partnership (Florence) dated March 1, 1990, and recorded March 7, 1990 in the Office of the Register of Deeds for Florence County in Book A-318 at Page 274. This easement is not contiguous to the insured property.
EASEMENT PARCEL 2
Easements contained in that certain Easement Deed to First Union National Bank of South Carolina dated March 1, 1990, and recorded March 7, 1990 in the Office of the Register of Deeds for Florence County in Book A-318 at Page 286. This easement is not contiguous to the insured property.
EASEMENT PARCEL 3
Easements contained in that certain Declaration of Easements, Covenants, Conditions and Restrictions by PR Magnolia, LLC and FCPT Holdings, LLC dated June 29, 2018, and recorded July 10, 2018 in the Office of the Register of Deeds for Florence County in Book 754 at Page 50. This easement is neither contiguous with nor appurtenant to the insured property.
END OF DESCRIPTION.

- LEGEND**
- ST SEPTIC TANK
 - PS PUMP STATION
 - SV SEWER VALVE
 - EL ELECTRICAL TRANS
 - SC SEWER CLEANOUT
 - JB JUNCTION BOX
 - CB CATCH BASIN
 - FO FIBER OPTIC
 - RD ROOF DRAIN
 - FD FIRE HYDRANT
 - WV WATER VALVE
 - WM WATER METER
 - PV PIV
 - BL BOLLARD
 - PP PHONE PEDESTAL
 - EB ELECTRICAL BOX
 - GV GAS VALVE
 - GM GAS METER
 - EM ELECTRIC METER
 - AL AREA LIGHT
 - PP POWER POLE
 - GA GUY WIRE ANCHOR
 - PC PROPERTY CORNER
 - HP HANDICAP PARKING
 - SS UNDERGROUND ELECTRIC
 - SS PHONE LINE
 - SS SANITARY SEWER LINE
 - SS UNKNOWN UTILITY
 - SS GAS LINE
 - OV OVERHEAD ELECTRIC LINE
 - GW GUY WIRE
 - WL WATER LINE
 - TL TREE LINE
 - RT RAILROAD TRACKS

SURVEYOR'S CERTIFICATE

To PANDA RESTAURANT GROUP, INC. and CHICAGO TITLE INSURANCE COMPANY:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-5, 6(a), 6(b), 8, 9, 11(b), 13, 14, 16, 17, 18 and 19(51mm) of Table A thereof.

The field work was completed on SEPTEMBER 12, 2023. Date of Plot or Map OCTOBER 4, 2023

JACOB B. ERVIN JR.
S.C. REG. NO. 23830

ZONING INFORMATION

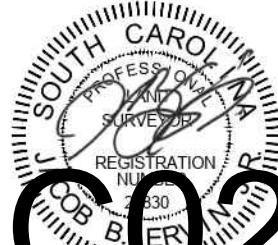
Zoning District: "PD" PLANNED DEVELOPMENT
Setbacks:
Front: 25'
Side: 7'
Rear: 20'
Zoning Source: The City of Florence

LAND AREA:
0.947 ACRES
41,233 SQUARE FEET



ALTA/NSPS LAND TITLE SURVEY
PANDA RESTAURANT GROUP, INC.
DAVID H. MCLEOD BOULEVARD
CITY OF FLORENCE, FLORENCE COUNTY, SOUTH CAROLINA
THIS IS A SUBDIVISION OF AN EXISTING PARCEL

SURVEYED BY:
ERVIN ENGINEERING CO., INC.
341 WEST EVANS ST.
FLORENCE, S.C. 29501
PH: 843-662-4941
EMAIL: JBE@ERVINENGINEERING.COM



02.0

SCHEDULE B-2 EASEMENT NOTES

EXCEPTION 10:
Declaration of Restrictions by PR Florence, LLC and PR Magnolia LLC dated August 16, 2002, and recorded August 30, 2002 in the Office of the Register of Deeds for Florence County in Book A-696 at Page 133, including these restrictions.
NO PLOTTABLE INFORMATION

EXCEPTION 11:
Agreement and Easement by and between Equity Properties and Development Company, as agent for Florentine Corporation, Inc., Joanne Byrd Mathers, Thomas Edward Byrd, John E. Lunn, Edward L. Yound, Richard G. Dusenbury and Bernard D. Dusenbury, individually and as Trustees of Dusenbury, Dusenbury & McKenzie Legal Enterprises, Inc., First Union National Bank of South Carolina, and Fairfield Associates Limited Partnership dated October 5, 1990, and recorded October 5, 1990 in the Office of the Register of Deeds for Florence County in Book A-329 at Page 2082.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 12:
Access and Construction Easement Agreement between Byrd Properties, Inc. and Dusenbury, Dusenbury & McKenzie Legal Enterprises, Inc. and Florentine Corporation, Inc. dated March 29, 1996, and recorded March 29, 1996 in the Office of the Register of Deeds for Florence County in Book A-461 at Page 1298.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 13:
Right-of-Way and Easement and Termination Agreement between Byrd Properties, Inc. and Dusenbury, Dusenbury & McKenzie Legal Enterprise, Inc. and the City of Florence dated August 23, 1999, and recorded August 24, 1999 in the Office of the Register of Deeds for Florence County in Book A-570 at Page 2486.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 14:
Right-of-Way and Easement to the City of Florence dated July 8, 1999, and recorded July 29, 1999 in the Office of the Register of Deeds for Florence County in Book A-568 at Page 1496.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 15:
Easement to Carolina Power & Light Company dated May 22, 2000, and recorded September 19, 2000 in the Office of the Register of Deeds for Florence County in Book A-606 at Page 878.
AFFECTS THAT PORTION OF THE INSURED PROPERTY LYING NORTH OF THE LINE IDENTIFIED AS "FORMER R/W LINE OF W. DAVID MCLEOD BLVD" ON SURVEY. LOCATION OF UNDERGROUND ELECTRIC LINES SHOWN ON SURVEY

EXCEPTION 16:
Easement to Carolina Power & Light Company dated January 29, 1979 and recorded February 20, 1979 in the Office of the Register of Deeds for Florence County in Book A-163 at Page 568.
AFFECTS INSURED PROPERTY. EASEMENT FOR ELECTRIC LINES TO PROVIDE SERVICE FOR THE INSURED PROPERTY. NO EASEMENT WIDTH SPECIFIED. EASEMENT DRAWING REFERENCED IN DOCUMENT WAS NOT PROVIDED TO SURVEYOR. LOCATION OF EASEMENT NOT DEPICTED ON SURVEY

EXCEPTION 17:
Easement to Carolina Power & Light Company dated September 19, 1978 and recorded November 22, 1978 in the Office of the Register of Deeds for Florence County in Book A-162 at Page 435.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 18:
Easement to Carolina Power & Light Company dated March 28, 1980 and recorded May 12, 1980 in the Office of the Register of Deeds for Florence County in Book A-169 at Page 379.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 19:
Electrical Power Line Easement to Carolina Power & Light Company dated December 22, 1980 and recorded January 21, 1981 in the Office of the Register of Deeds for Florence County in Book A-172 at Page 411.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 20:
Easement to Carolina Power & Light Company dated February 18, 1992 and recorded March 27, 1992 in the Office of the Register of Deeds for Florence County in Book A-359 at Page 2046.
AFFECTS INSURED PROPERTY. GENERAL EASEMENT TO PROVIDE SERVICE WITH NO STATED LOCATION OR WIDTH. NO PLOTTABLE INFORMATION

EXCEPTION 21:
Telephone Line Easement to Southern Bell Telephone and Telegraph Company dated December 22, 1980 and recorded January 21, 1981 in the Office of the Register of Deeds for Florence County in Book A-172 at Page 408.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 22:
Right-of-Way Easement to Southern Bell Telephone and Telegraph Company dated June 5, 1979 and recorded October 17, 1983 in the Office of the Register of Deeds for Florence County in Book A-202 at Page 1532.
20' WIDE EASEMENT FOR TELEPHONE EQUIPMENT TO BELLSOUTH. IMPROVEMENTS ARE UNDERGROUND AND ATTACHMENT TO EASEMENT DESCRIBING PROPERTY SUBJECT TO EASEMENT WAS MISSING.

EXCEPTION 23:
Right-of-Way Easement to the City of Florence dated December 22, 1980 and recorded January 21, 1981 in the Office of the Register of Deeds for Florence County in Book A-172 at Page 409, as amended by Corrective Right-of-Way Easement to the City of Florence dated March 2, 1981, and recorded June 29, 1981 in Book A-174 at Page 348.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 24:
Right-of-Way Easement to the City of Florence dated December 22, 1980 and recorded January 21, 1981 in the Office of the Register of Deeds for Florence County in Book A-172 at Page 410, as amended by Corrective Right-of-Way Easement to the City of Florence dated March 2, 1981, and recorded June 29, 1981 in Book A-174 at Page 349.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 25:
Easement to Florentine Corporation, Inc. dated March 16, 1979, and recorded July 11, 1979 in the Office of the Register of Deeds for Florence County in Book A-165 at Page 509.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 26:
Terms, conditions and easements contained in that certain Cross Easement Agreement between First Union National Bank of South Carolina and Fairfield Associates Limited Partnership (Florence) dated March 1, 1990, and recorded March 7, 1990 in the Office of the Register of Deeds for Florence County in Book A-318 at Page 274.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 27:
Easement Deed to First Union National Bank of South Carolina dated March 1, 1990, and recorded March 7, 1990 in the Office of the Register of Deeds for Florence County in Book A-318 at Page 286.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 28:
Rights reserved to Byrd Properties, Inc. and to Dusenbury, Dusenbury & McKenzie Legal Enterprises, Inc. as stated in that certain Special Warranty deed dated May 24, 2005 and recorded May 31, 2005 in Record Book A-929 at Page 1153, Office of the Register of Deeds for Florence County.
DOES NOT AFFECT INSURED PROPERTY

SCHEDULE B-2 EASEMENT NOTES (Continued)

EXCEPTION 29:
Terms, conditions, covenants, including, but not limited to, restrictions, including use restrictions, contained in that certain Short Form of Lease between IHOP Properties, Inc. and PR Magnolia LLC dated July 26, 2020, and recorded September 14, 2020 in the Office of the Register of Deeds for Florence County in Book A-606 at Page 108; as amended by Subordination, Attornment and Non-Disturbance Waiver and Partial Release Agreement between IHOP Properties, Inc. and Lehman Brothers Bank, FSB dated July 11, 2005, and recorded March 14, 2006 in Book A-995 at Page 145, aforesaid records; as further amended by Subordination, Attornment and Non-Disturbance Waiver and Partial Release Agreement between IHOP Properties, Inc. and Lehman Brothers Bank, FSB dated July 11, 2005, and recorded March 14, 2006 in Book A-995 at Page 156, aforesaid records; and as impacted by that Assignment and Assumption of Lease by PR Magnolia LLC and FCPT Holdings, LLC dated June 26, 2020, and recorded July 29, 2020 in the Office of the Register of Deeds for Florence County in Book 865 at Page 1599.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 30:
Terms, conditions, covenants, including, but not limited to, no build area, restrictions, including use restrictions, contained in that certain Memorandum of Lease between PR Magnolia, LLC and Pier 1 Imports (U.S.), Inc. dated August 3, 1999, and recorded August 30, 1999 in the Office of the Register of Deeds for Florence County in Book A-571 at Page 1704; as amended by Subordination, Non-Disturbance and Attornment Agreement between Pier 1 Imports (U.S) and Lehman Brothers Bank, FSB dated July 11, 2005, and recorded March 14, 2006 in Book A-995 at Page 167, aforesaid records; and as further amended by Subordination, Non-Disturbance and Attornment Agreement between Lehman Brothers Bank, FSB and Pier 1 Imports (U.S.) dated July 11, 2005, and recorded March 14, 2006 in Book A-995 at Page 176, aforesaid records, which include, but are not limited to, restrictions (including use restrictions) and a no build area.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 31:
Agreement by and between Belk's Department Store of Florence, SC, Incorporated, Guaranty Bank & Trust Co., Substitute Trustee U/W R.P. Byrd, deceased; Arlen Realty, Inc., Prilen Financial Corp., Citibank, NA, Continental Illinois National Bank & Tu Company of Chicago, and Florentine Cororation, Inc. dated May 3, 1979, and recorded July 11, 1979 in th Office of the Register of Deeds for Florence County in Book A-165 at Page 508.
NO PLOTTABLE INFORMATION

Specific Assignment, Subordination, Non-Disturbance and Attornment Agreement between Belk's Department Store of Florence, S.C., Florentine Corporation, Inc. and The Northwestern Mutual Life Insurance Company dated July 31, 1986, and recorded September 25, 1986 in Book A-253 at Page 313.
NO PLOTTABLE INFORMATION

EXCEPTION 32:
Terms and conditions, including, but not limited to, easements contained in that certain Memorandum of Lease by Florentine Corporation, Inc. and Burger King Corporation dated November 2, 1979, and recorded November 26, 1979 in the Office of the Register of Deeds for Florence County in Book A-167 at Page 323.
DOES NOT AFFECT INSURED PROPERTY

Subordination, Non-Disturbance and Attornment Agreements between Lehman Brothers Bank, FSB, PR Magnolia, LLC and Burger King Corporation dated June 30, 2005, and recorded April 12, 2006 in Book B-3 at Page 268 and B-3 at Page 282.
DOES NOT AFFECT INSURED PROPERTY

Memorandum of Amendment to Lease between PR Magnolia LLC and Burger King Corporation dated September 14, 2018, and recorded November 20, 2018 in Book 772 at Page 1562, aforesaid records; and as assigned by that Assignment and Assumption of Lease between PR Magnolia LLC and FCPT Holdings, LLC dated June 23, 2020, and recorded August 28, 2020 in the Office of the Register of Deeds for Florence County in book 872 at Page 1; and Agreement between Burger King Corporation and Guaranty Bank & Trust Company of Chicago, N.A. dated November 2, 1979, and recorded November 26, 1979 in the Office of the Register of Deeds for Florence County in Book A-167 at Page 324.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 33:
Memorandum of Lease by and between Florentine Corporation, Inc., Equity Properties and Development Company and J.C. Penny Company, Inc. dated July 16, 1985, and recorded August 26, 1985 in the Office of the Register of Deeds for Florence County in Book A-233 at Page 2131.
NO PLOTTABLE INFORMATION

Lease Term Agreement between Florentine Corporation, Inc. and J.C. Penny Company, Inc. dated March 10, 1987, and recorded April 20, 1987 in Book A-264 at Page 817.
NO PLOTTABLE INFORMATION

Specific Assignment, Subordination, Non-Disturbance and Attornment Agreements between J.C. Penny Company, Inc., Florentine Corporation, Inc. and The Northwestern Mutual Life Insurance Company dated August 15, 1986, and recorded September 25, 1986 in Book A-253 at Page 328.
NO PLOTTABLE INFORMATION

Subordination, Non-Disturbance and Attornment Agreements between J.C. Penny Corporation, Inc. and Lehman Brothers Bank, FSB dated June 23, 2005, and recorded January 30, 2006 in Book A-985 at Page 874 and Book A-985 at Page 887.
NO PLOTTABLE INFORMATION

Lease Amendmnent Agreement between PR Magnolia, LLC and J.C. Penny Corporation, Inc. dated July 17, 2006, and recorded August 11, 2006 in the Office of the Register of Deeds for Florence County in Book B-32 at Page 197.
NO PLOTTABLE INFORMATION

EXCEPTION 34:
Fee Owner Recognition Agreement between Byrd Properties, Inc., Dusenbury, Dusenbury & McKenzie Legal Enterprises, Inc., PR Magnolia LLC, and Best Buy Stores, L.P., effective April 1, 2002, and recorded September 18, 2002 in the Office of the Register of Deeds for Florence County in Book A-698 at Page 909.
Recognition of Trade Name Best Buy Stores, LP is doing business under trade name of Geek Squad dated February 12, 2004 and recorded August 4, 2004 in the Office of the Register of Deed for Florence County.
NO PLOTTABLE INFORMATION

EXCEPTION 35:
Agreement between Burger King corporation and Guaranty Bank & Trust Co., Substitute Trustee U/W R.P. Byrd, deceased and Continental Illinois National Bank and Trust Company of Chicago, N.A. dated November 2, 1979, and recorded November 26, 1979 in the Office of the Resigter of Deeds for Florence County in Book A-167 at Page 324.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 36:
Notice of Lease between CBL Developers, Inc., agent for Florentine Corporation, Inc. and Pizza Hut of America, Inc dated February 18, 1980, and recorded July 11, 1980 in the Office of the Register of Deeds for Florence County in Book A-170 at Page 84, and Notice of Sublease and Lease between Pizza Hut of America, Inc. and Florence Pizza, Inc. dated November 19, 1986, and recorded February 9, 1987 in the Office of the Register of Deeds for Florence County in Book A-260 at Page 760.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 37:
Terms and conditions, including, but not limited to, restrictions, including use restrictions, and rights of first refusal of ground lease as evidenced by Short Form Lease between Guaranty Bank & Trust Co., Substitute Trustee U/W R.P. Byrd, deceased and Independent Developers, Inc. dated May 8, 1978, and recorded June 5, 1978 in the Office of the Register of Deeds for Florence County in Book A-160 at Page 57.
DOES NOT AFFECT INSURED PROPERTY

SCHEDULE B-2 EASEMENT NOTES (Continued)

Assignment of Lease by Independent Developers, Inc. and Arlen Realty, Inc. dated October 5, 1978, and recorded December 18, 1978, and recorded January 12, 1979 in Book A-161 at Page 976.
NO PLOTTABLE INFORMATION

Assignment and Assumption of Lease between Arlen Realty, Inc. and Independent Developers, Inc. dated November 9, 1978, and recorded December 19, 1978 in Book A-162 at Page 706.
NO PLOTTABLE INFORMATION

Assignment and Assumption of Lease between Arlen Realty, Inc. and Florentine Corporation, Inc. dated December 18, 1978, and recorded January 12, 1979 in Book A-163 at Page 65.
NO PLOTTABLE INFORMATION

Assignment and Assumption of Lease between Independent Developers, Inc. and Arlen Realty, Inc. dated December 18, 1978, and recorded January 12, 1979 in Book A-163 at Page 66.
NO PLOTTABLE INFORMATION

Lease Modification Agreement No. 1 between Guaranty Bank & Trust Co., Substitute Trustee U/W R.P. Byrd, deceased and Independent Developers, Inc. dated December 7, 1978, and recorded January 12, 1979 in Book A-163 at Page 67.
DOES NOT AFFECT INSURED PROPERTY

Memorandum of Lease Modification Agreement No. 2 between Guaranty Bank & Trust Co., Substitute Trustee U/W R.P. Byrd, deceased, which is the predecessor-in-interest to Byrd Properties, Inc. and Dusenbury, Dusenbury & McKenzie Legal Enterprises, Inc., together d/b/a The Byrd Properties Venture and Independent Developers, Inc., predecessor-in-interest to Florentine Corporation, Inc. dated August 20, 1996, and recorded September 4, 1996 in Book A-473 at Page 1075.
NO PLOTTABLE INFORMATION

Assignment and Assumption of Lease between Florentine Corporation, Inc. and Magnolia Retail Associates, L.L.C. dated September 12, 1996, and recorded October 2, 1996 in Book A-475 at Page 1648.
NO PLOTTABLE INFORMATION

Assignment and Assumption of Lease between Magnolia Retail Associates, L.L.C. and PR Magnolia LLC dated September 30, 1997, and recorded October 2, 1997 in Book A-504 at Page 1311.
DOES NOT AFFECT INSURED PROPERTY

Assignment and Assumption of Lease Agreement between Byrd Properties, Inc., and Dusenbury, Dusenbury & McKenzie Legal Enterprises, Inc., collectively d/b/a Byrd Properties Venture and PR Magnolia LLC dated May 24, 2005, and recorded May 31, 2005 in Book A-929 at Page 1136.
DOES NOT AFFECT INSURED PROPERTY

Lease Modification Agreement No. 3 between PR Magnolia, LLC (successor by assignment to Guaranty Bank & Trust Co., Substitute Trustee U/W R.P. Byrd, Deceased) and PR Magnolia, LLC dated June 29, 2018, and recorded July 10, 2018 in the Office of the Register of Deeds for Florence County in Book 754 at Page 31.
DOES NOT AFFECT INSURED PROPERTY

Lease Modification Agreement No. 4 between PR Magnolia, LLC (successor by assignment to Guaranty Bank & Trust Co., Substitute Trustee U/W R.P. Byrd, Deceased) and PR Magnolia, LLC dated December 30, 2019, and recorded January 15, 2020 in the Office of the Register of Deeds for Florence County in Book 834 at Page 704.
DOES NOT AFFECT INSURED PROPERTY

Lease Modification Agreement No. 6 between PR Magnolia, LLC (successor by assignment to Guaranty Bank & Trust Co., Substitute Trustee U/W R.P. Byrd, Deceased) and PR Magnolia, LLC dated June 29, 2020, and recorded July 29, 2020 in the Office of the Register of Deeds for Florence County in Book 865 at Page 1545 and any amendments thereto.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 38:
Easement to South Carolina Electric & Gas Company dated July 28, 2005, and recorded August 24, 2005 in the Office of the Register of Deeds for Florence County in Book A-950 at Page 707.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 39:
Easement to Carolina Power & Light Company dated August 18, 2005, and recorded August 31, 2005 in the Office of the Register of Deeds for Florence County in Book A-952 at Page 600.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 40:
Easement to Carolina Power & Light Company dated January 11, 2007, and recorded March 20, 2007 in the Office of the Register of Deeds for Florence County in Book B-86 at Page 481.
AFFECTS THAT PORTION OF THE INSURED PROPERTY LYING NORTH OF THE LINE IDENTIFIED AS "FORMER R/W LINE OF W. DAVID MCLEOD BLVD" ON SURVEY. LOCATION OF UNDERGROUND ELECTRIC LINES SHOWN ON SURVEY

EXCEPTION 41:
Easement to South Carolina Electric & Gas Company dated April 9, 2007, and recorded April 11, 2007 in the Office of the Register of Deeds for Florence County in Book B-92 at Page 226.
10' EASEMENT FOR NATURAL GAS LINE SERVING BARNES AND NOBLE. THE LOCATION OF THE GAS LINE COULD NOT BE DETERMINED FROM THE EASEMENT DOCUMENT OR ONSITE EVIDENCE. THEREFORE IT IS NOT INDICATED ON SURVEY.

EXCEPTION 42:
Right-of-Way and Easement to the City of Florence dated October 17, 2007, and recorded October 20, 2007 in the Office of the Register of Deeds for Florence County in Book B-716 at Page 1122.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 43:
Easement to Duke Energy Progress, LLC dated April 20, 2018, and recorded May 8, 2018 in the Office of the Register of Deeds for Florence County in Book 744 at Page 1825.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 44:
Right-of-Way and Easement to the City of Florence dated May 29, 2018, and recorded June 11, 2018 in the Office of the Register of Deeds for Florence County in Book 749 at Page 1955.
20' EASEMENT TO THE CITY OF FLORENCE FOR A WATER LINE. DOCUMENT MAKES REFERENCE TO THE "TEXAS ROADHOUSE" PARCEL WHICH IS NOT A PART OF THE INSURED PROPERTY. THE EXHIBIT TO THE EASEMENT IS MISSING. THEREFORE I COULD NOT DETERMINE WHETHER THE EASEMENT AFFECTS THE INSURED PROPERTY. NOT SHOWN ON SURVEY. DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 45:
Easement to Duke Energy Progress, LLC dated August 15, 2018, and recorded August 27, 2018 in the Office of the Register of Deeds for Florence County in Book 760 at Page 1625.
DOES NOT AFFECT INSURED PROPERTY

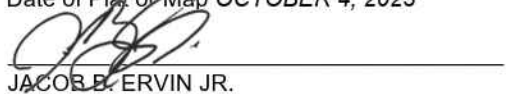
EXCEPTION 46:
Agreement of Covenants and Restrictions (Bed Bath and Beyond, Inc.) between PR Magnolia LLC and PR Florence LLC dated May 30, 2007, and recorded February 12, 2009 in the Office of the Register of Deeds for Florence County in Book B-229 at Page 1451, which include use restrictions.
NO PLOTTABLE INFORMATION

SURVEYOR'S CERTIFICATE

To PANDA RESTAURANT GROUP, INC. and CHICAGO TITLE INSURANCE COMPANY:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-5, 6(a), 6(b), 8, 9, 11(b), 13, 14, 16, 17, 18 and 19(\$1mm) of Table A thereof.

The field work was completed on SEPTEMBER 12, 2023.
Date of Plot or Map OCTOBER 4, 2023


JACOB B. ERVIN JR.
S.C. REG. NO. 23830

SCHEDULE B-2 EASEMENT NOTES (Continued)

EXCEPTION 47:
Terms and conditions, including, but not limited to, restrictions, including use restrictions, and easements contained in that certain Declaration of Easements, Covenants, Conditions and Restrictions by PR Magnolia, LLC and FCPT Holdings, LLC dated June 29, 2018, and recorded July 10, 2018 in the Office of the Register of Deeds for Florence County in Book 754 at Page 50.
INCLUDES A GENERAL EASEMENT FOR INGRESS AND EGRESS AND UTILITIES ACROSS PART OF INSURED PROPERTY. NO EXHIBITS ATTACHED TO DOCUMENT TO DEFINE BENEFITTING PROPERTY. NOT SHOWN ON SURVEY.

EXCEPTION 48:
Terms and conditions, including, but not limited to, restrictions, including use restrictions, and easements contained in that certain Declaration of Easements, Covenants, Conditions and Restrictions by PR Magnolia, LLC and FCPT Holdings, LLC dated December 30, 2019, and recorded January 15, 2020 in the Office of the Register of Deeds for Florence County in Book 834 at Page 659.
INCLUDES A GENERAL EASEMENT FOR INGRESS AND EGRESS AND UTILITIES ACROSS INSURED PROPERTY BENEFITING THE TEXAS ROADHOUSE PARCEL. NOT SHOWN ON SURVEY.

EXCEPTION 49:
Terms and conditions, including, but not limited to, restrictions, including use restrictions, and easements contained in that certain Declaration of Easements, Covenants, Conditions and Restrictions by PR Magnolia, LLC and FCPT Holdings, LLC dated June 26, 2020, and recorded July 29, 2020 in the Office of the Register of Deeds for Florence County in Book 865 at Page 1559.
AFFECTS INSURED PROPERTY. ESTABLISHES A "LEASE PARKING AREA" FOR THE BENEFIT OF THE IHOP PARCEL. LOCATION SHOWN ON SURVEY

EXCEPTION 50:
Terms and conditions, including, but not limited to, restrictions, including use restrictions, and easements contained in that certain Declaration of Easements, Covenants, Conditions and Restrictions by PR Magnolia, LLC and FCPT Holdings, LLC dated June 22, 2020, and recorded August 28, 2020 in the Office of the Register of Deeds for Florence County in Book 871 at Page 1976.
PROVIDES FOR A NON-EXCLUSIVE ACCESS EASEMENT. DOCUMENT DOES NOT IDENTIFY A SPECIFIC EASEMENT AREA

EXCEPTION 51:
Terms and conditions, including, but not limited to, restrictions, including use restrictions, and easements contained in that certain Bilateral Declaration of Easements, Covenants, Conditions and Restrictions by PR Magnolia, LLC and FCPT Holdings, LLC dated August 5, 2022, and recorded August 25, 2022 in the Office of the Register of Deeds for Florence County in Book 1009 at Page 982. PROVIDES FOR A NON-EXCLUSIVE ACCESS EASEMENT TO CHUCK E. CHEESE. NO PLOTTABLE INFORMATION

EXCEPTION 52:
Subordination, Non-Disturbance and Attornment and Agreement between LaSalle Bank National Association and Dick's Sporting Goods, Inc. dated October 24, 2006, recorded January 5, 2007 in the Office of the Register of Deeds for Florence County in Book B-67 at Page 1021.
NO PLOTTABLE INFORMATION

EXCEPTION 53:
Memorandum of Lease between PR Magnolia, LLC and Dick's Sporting Goods, Inc. dated June 1, 2006, and recorded December 20, 2007 in the Office of the Register of Deeds for Florence County in Book B-154 at Page 649 and any amendments thereto.
NO PLOTTABLE INFORMATION

EXCEPTION 54:
Terms and conditions, including, but not limited to, restrictions, including use restrictions, contained in that certain Memorandum of Lease between PR Magnolia, LLC and Burlington Coat Factory Warehouse Corporation dated February 3, 2017, and recorded March 15, 2017 in the Office of the Register of Deeds for Florence County in Book B-680 at Page 453.
NO PLOTTABLE INFORMATION

EXCEPTION 55:
Terms and conditions, including, but not limited to, prohibited use area, restrictions, including use restrictions, contained in that certain Memorandum of Sublease between PR Magnolia, LLC and HomeGoods, Inc. dated June 23, 2017, and recorded July 27, 2017 in the Office of the Register of Deeds for Florence County in Book B-702 at Page 1657.
NO PLOTTABLE INFORMATION

EXCEPTION 56:
Terms and conditions, including, but not limited to, restrictions, including use restrictions, easements and no build area contained in that certain Short Form Lease between PR Magnolia, LLC and Chick-Fil-A, Inc. dated January 22, 2018, and recorded January 25, 2018 in the Office of the Register of Deeds for Florence County in Book 730 at Page 904; as amended by First Amendment to Short Form Lease between PR Magnolia LLC and Chick-Fil-A dated May 16, 2018, and recorded July 11, 2018 in Book 754 at Page 312.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 57:
Assignment and Assumption of Lease between PR Magnolia LLC and FCPT Holdings, LLC dated June 29, 2018, and recorded July 10, 2018 in the Office of the Register of Deeds for Florence County in Book 754 at Page 43.
DOES NOT AFFECT INSURED PROPERTY

EXCEPTION 58:
Terms and conditions, including, but not limited to, restrictions, including use restrictions, shared access and parking as contained in that certain Memorandum of Lease between PR Magnolia, LLC and Texas Roadhouse Holdings LLC dated December 27, 2018, and recorded January 8, 2019 in the Office of the Register of Deeds for Florence County in Book 778 at Page 1815.
AFFECTS INSURED PROPERTY AS TO USE. NO PLOTTABLE INFORMATION

EXCEPTION 59:
Memorandum of Lease between PR Magnolia, LLC and Nickels and Dimes Incorporated dated February 12, 2021, and recorded April 5, 2021 in the Office of the Register of Deeds for Florence County in Book 913 at Page 1255.
DOES NOT AFFECT INSURED PROPERTY

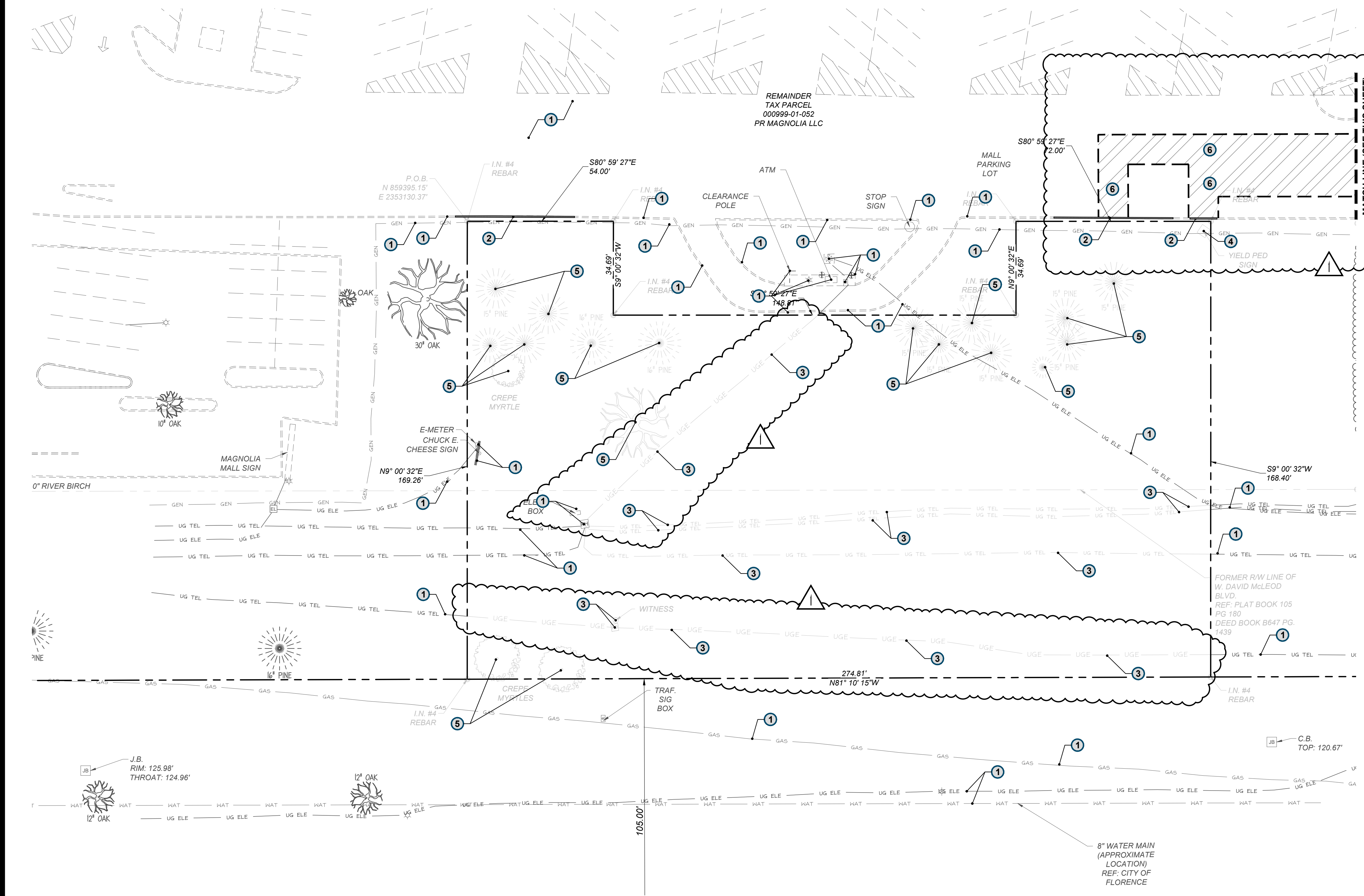
Subordination Agreement, Acknowledgment of Lease Assignment, Estoppel, Attornment and Non-Disrurbance Agreement (Lease to Security Agreement) between PR Magnolia LLC, Nickels and Dimes Incorporated, and Wells Fargo Bank, National Association dated February 12, 2021, and recorded April 5, 2021 in the Office of the Register of Deeds for Florence County in Book 913 at Page 1237.
NO PLOTTABLE INFORMATION. DOES NO AFFECT INSURED PROPERTY

ALTA/NSPS LAND TITLE SURVEY
PANDA RESTAURANT GROUP, INC.
DAVID H. MCLEOD BOULEVARD
CITY OF FLORENCE, FLORENCE COUNTY, SOUTH CAROLINA
THIS IS A SUBDIVISION OF AN EXISTING PARCEL

SURVEYED BY:
ERVIN ENGINEERING CO., INC.
341 WEST EVANS ST.
FLORENCE, S.C. 29501
PH: 843-662-4941
EMAIL: JBE@ERVINENGINEERING.COM

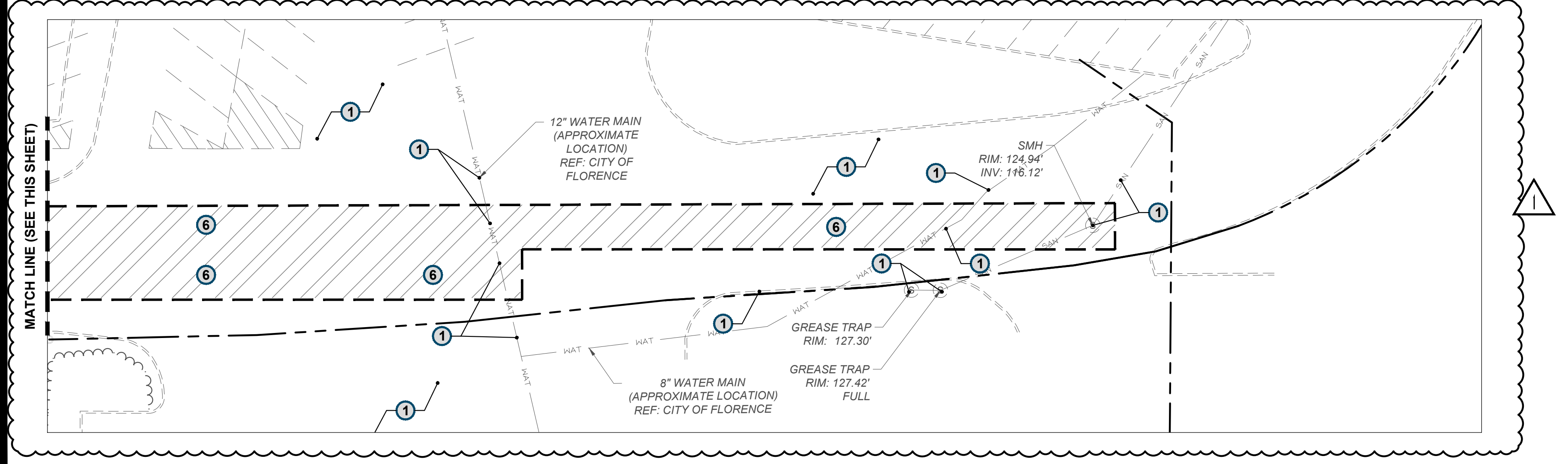


002.1



DEMOLITION LEGEND

- 1 PROTECT ALL ITEMS DURING ALL PHASES OF CONSTRUCTION (SEE GENERAL DEMOLITION NOTE #1). THE CONTRACTOR SHALL ENSURE THE INTEGRITY OF ALL ITEMS DENOTED TO BE PROTECTED THAT ARE ADJACENT TO ITEMS DENOTED TO BE DEMOLISHED AND WILL SAFELY REPAIR ANY SUCH ITEMS TO THE REQUIRED JURISDICTIONAL STANDARDS. CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR EXISTING OVERHEAD ELECTRICAL LINES.
- 2 SAWCUT AND REMOVE EXISTING SIDEWALK, CURB AND GUTTER, AND ALL ASSOCIATED APPURTENANCES INCLUDING, BUT NOT LIMITED TO, REINFORCEMENT, AND STONE BASE.
- 3 CONTRACTOR SHALL COORDINATE WITH THE UTILITY PROVIDER TO DISCONNECT TELEPHONE SERVICE FROM THE EXISTING BOX. SEE GENERAL DEMOLITION NOTE #3 ON SHEET C01.1. SEE SHEET C04.0 FOR LOCATION OF RELOCATED UTILITY LINES.
- 4 CONTRACTOR SHALL REMOVE EXISTING SIGN AND ALL ASSOCIATED APPURTENANCES INCLUDING, BUT NOT LIMITED TO, REINFORCEMENT AND CONCRETE BASE AND REPLACE AFTER CONSTRUCTION IS COMPLETE.
- 5 CONTRACTOR SHALL REMOVE EXISTING LANDSCAPING AS NOTED. ITEMS INCLUDE, BUT NOT LIMITED TO, ANY SHRUBS OR TREES, TRUNK, STUMP, BASE, AND ROOT STRUCTURE.
- 6 CONTRACTOR SHALL SAWCUT AND REMOVE ALL ASSOCIATED ASPHALT, INCLUDING BUT NOT LIMITED TO, REINFORCEMENT AND STONE BASE. CONTRACTOR SHALL REPLACE ASPHALT TO MATCH THE EXISTING CONDITIONS AFTER THE COMPLETION OF THE SANITARY SEWER EXTENSION AND WATER LINE CONNECTION.



GENERAL NOTES SEE SHEET C01.1

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING FEATURES, INCLUDING BUT NOT LIMITED TO, UTILITIES, EXISTING IMPROVEMENTS, ETC. CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY

South Carolina 811
Call 811 Before you Dig

24-HOUR CONTACT:
CLAY WORTHY
(602) 931-6540



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8268

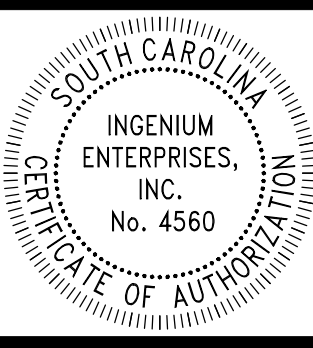

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:
01 02/21/2024 CITY COMMENTS

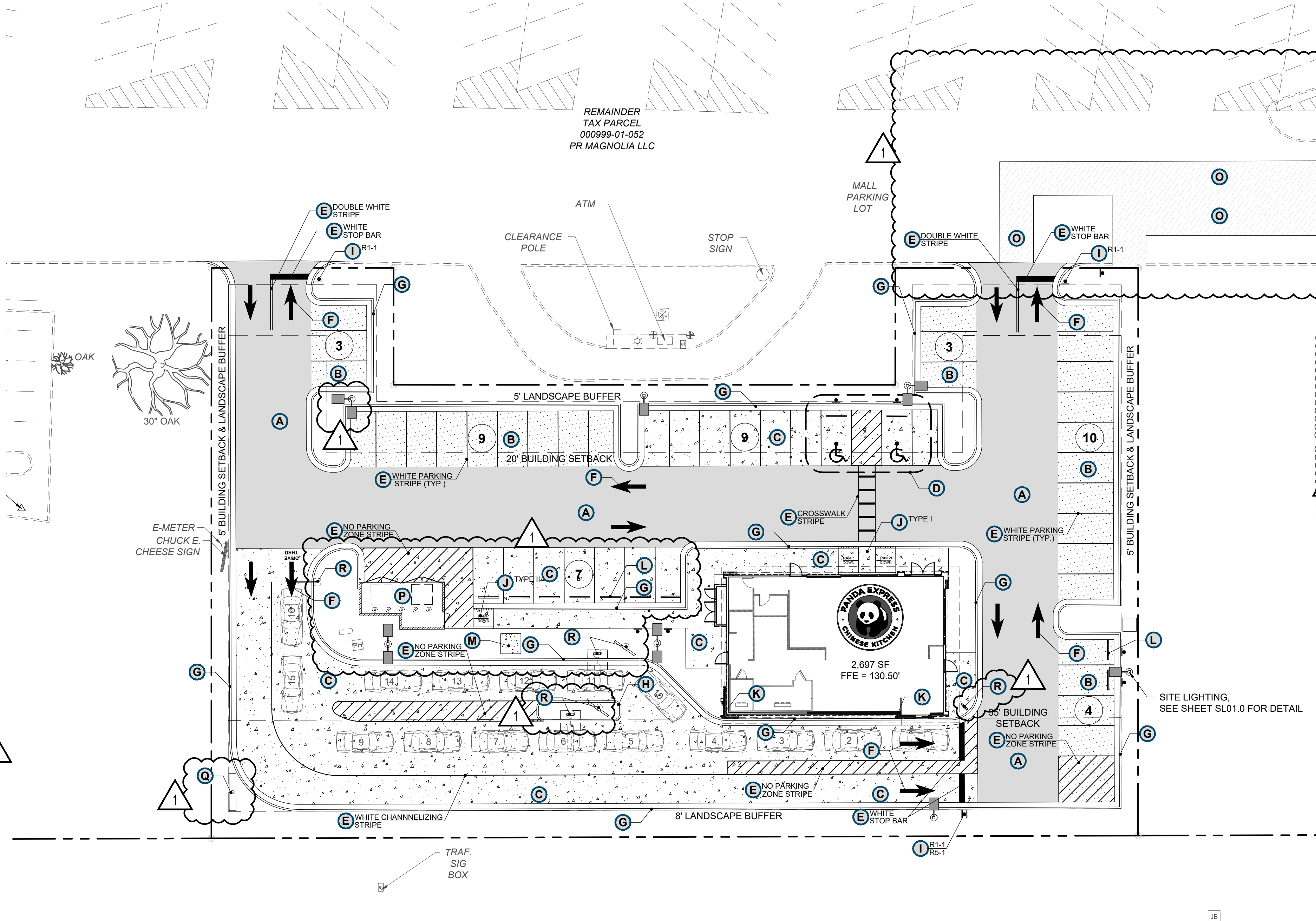
ISSUE DATE:
PERMIT/BID 12/14/2023
PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA
PANDA PROJECT #: D26523
PANDA STORE #: 3877
CIVIL PROJECT #: 230013

 **INGENIUM**
INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF AUTHORITY #4560

SITE INFORMATION					
JURISDICTION:			CITY OF FLORENCE		
PARCEL IDENTIFICATION NO.:			00099-01-194		
ZONING:			B-3 PUD		
OVERLAY DISTRICT			NONE		
FLOOD ZONE CLASSIFICATION:			ZONE X		
PROPOSED BUILDING					
HEIGHT =			23'-3"		
SEATS =			52		
GROSS AREA =			2697 SQ. FT.		
DINING AREA =			950 SQ. FT.		
CONSTRUCTION TYPE =			TYPE V-B		
SETBACK & BUFFERS					
BUILDING SETBACKS			LANDSCAPE BUFFERS		
FRONT	S	35 FT	FRONT	S	8 FT
REAR	N	20 FT	REAR	N	5 FT
SIDE	E	5 FT	SIDE	E	5 FT
SIDE	W	5 FT	SIDE	W	5 FT
PARKING LOT REQUIREMENTS					
MIN. PARKING PER CODE			ONE (1) SPACE PER 150 GFA		
MIN. PARKING REQUIRED			2,697 SF / 150 GFA = 18 SPACES		
MAX. PARKING PER CODE			NONE		
MAX. PARKING ALLOWED			NONE		
MIN. DRIVE AISLE WIDTH			24 FT		
MAX. NO. OF PARKING BEFORE LANDSCAPE ISLAND					10
MIN. LANDSCAPE ISLAND SIZE					9' X 18'
		MIN. REQUIRED	PROPOSED		
BICYCLE PARKING		NONE	NONE		
DRIVE-THRU STACK		NONE	16		
DRIVE-THRU WAITING SPACE		NONE	2		
BYPASS LANE		NONE	10'		
LOADING ZONE		N/A	N/A		
PARKING PROPOSED					
SPACE TYPE		SIZE	NO. PROPOSED		
REGULAR		9' X 18'	43		
ACCESSIBLE		9' X 18'	2		
TOTAL			45		
SITE AREA CALCULATIONS					
SITE		±0.95 AC.	41,233 SQ. FT.		
PERVIOUS		±0.19 AC.	8125 SQ. FT.		
IMPERVIOUS		±0.76 AC.	33108 SQ. FT.		
DISTURBED		±1.17 AC.	50755 SQ. FT.		
		MAX ALLOWED	PROPOSED		
I.S.R.		90%	80%		
F.A.R.		NONE	NONE		
BASE INFORMATION					
NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.R.M. MAP NO. 45041C0129E, DATED 12/16/2014.					
BASE CONDITIONS PROVIDED BY ERVIN ENGINEERING CO., INC., DATED 10/04/2023 (SEE SHEET C02.0 & C02.1).					
12" WATER MAIN LOCATION APPROXIMATED. DIGITIZED LOCATION PROVIDED BY CITY OF FLORENCE GIS.					

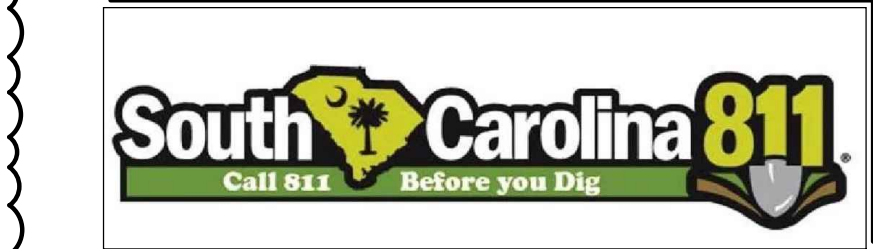


SITE LEGEND	
A	HEAVY DUTY ASPHALT PAVEMENT SECTION: DETAIL 2, SHEET C03.2
B	LIGHT DUTY ASPHALT PAVEMENT SECTION: DETAIL 2, SHEET C03.2
C	CONCRETE SECTIONS: PARKING: DETAIL 01, SHEET C03.2 DUMPSTER PAD: DETAIL 01, SHEET C03.2 DRIVE THRU: DETAIL 01, SHEET C03.2 SIDEWALKS: DETAIL 7, SHEET C03.3
D	ACCESSIBLE AREA & PAVEMENT MARKINGS: DETAIL 3, SHEET C03.2
E	STRIPING & PAVEMENT MARKINGS: DETAIL 5, SHEET C03.3
F	DIRECTIONAL ARROWS: DETAIL 8, SHEET C03.3
G	24" CURB & GUTTER (TYP.): DETAIL 1, SHEET C03.3
H	HEADER CURB: DETAIL 2, SHEET C03.3
I	SITE SIGNAGE: DETAIL 3, SHEET C03.3
J	SIDEWALK RAMP: DETAIL 6, SHEET C03.3
K	BOLLARD DETAIL: DETAIL 4, SHEET C03.2
L	WHEELSTOP DETAIL: DETAIL 9, SHEET C03.3
M	TRANSFORMER PAD: DETAIL 5, SHEET C03.2
N	CONCRETE FLUME: DETAIL 4, SHEET C03.3
O	EXISTING PAVEMENT SECTION: MATCH EXISTING PAVEMENT
P	DUMPSTER ENCLOSURE: SEE ARCHITECTURAL PLANS.
Q	PYLON SIGN: SEE SIGNAGE PLANS.
R	DRIVE-THRU ORDERING ELEMENTS: SEE ARCHITECTURAL PLANS.

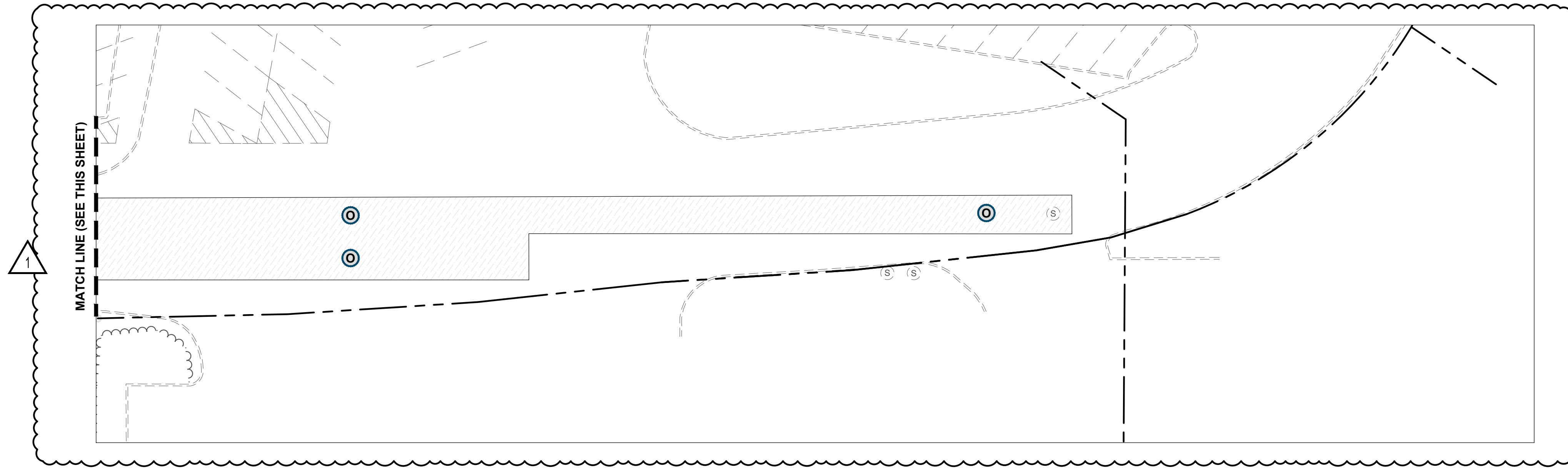
THIS PROPERTY WILL UTILIZE A PRIVATE SANITATION SERVICE, NOT THE CITY SERVICE

SITE & BUILDING AREA NOTES SEE SHEET C01.1

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING FEATURES, INCLUDING BUT NOT LIMITED TO, UTILITIES, EXISTING IMPROVEMENTS, ETC. CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY



24-HOUR CONTACT:
CLAY WORTHY
(602) 931-6540



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

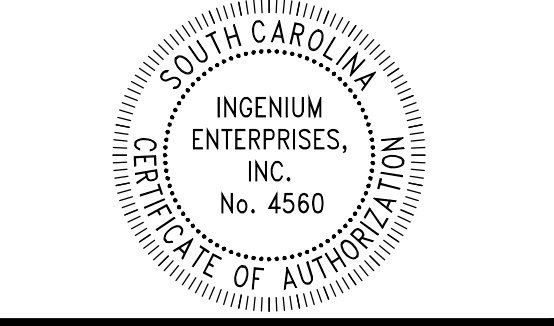
All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:
01 02/21/2024 CITY COMMENTS

ISSUE DATE:
PERMIT/BID 12/14/2023
PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA
PANDA PROJECT #: D26523
PANDA STORE #: 3877
CIVIL PROJECT #: 230013

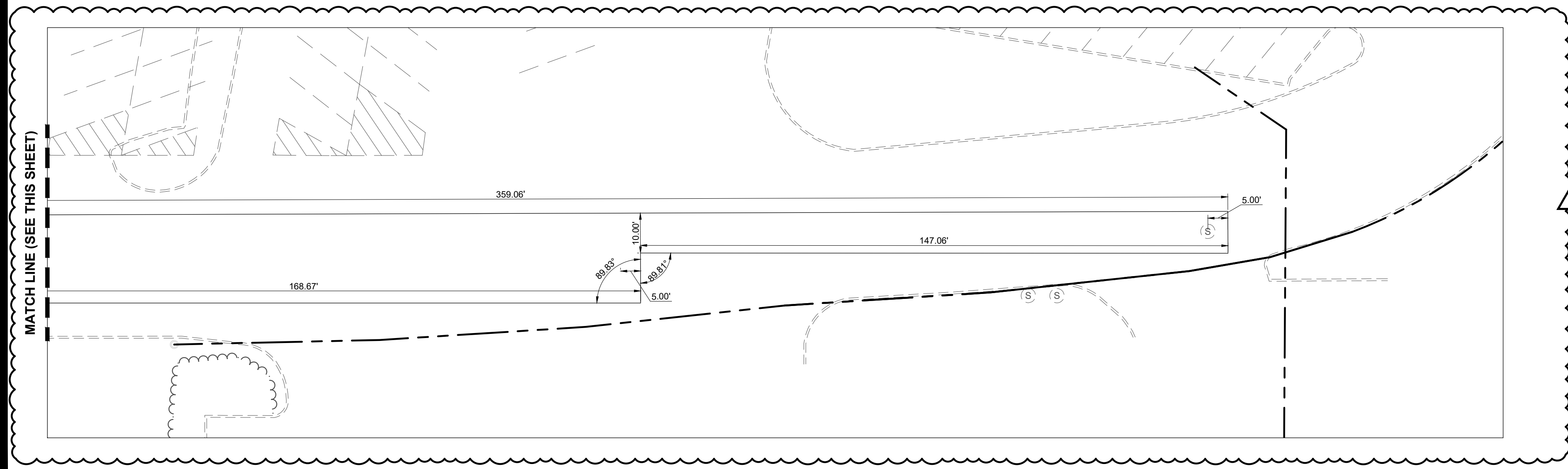
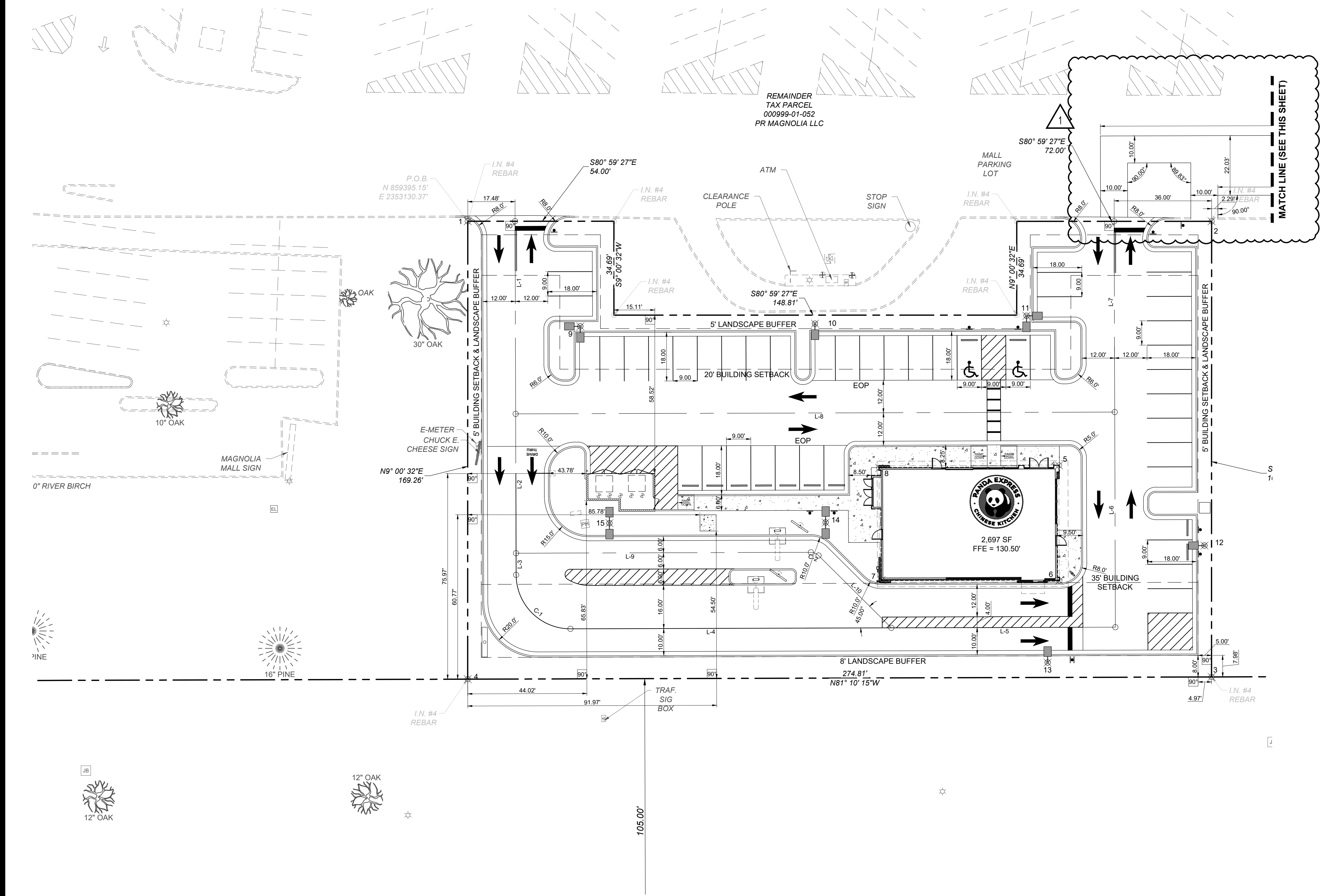
INGENIUM
INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF AUTHORITY #4580



SITE PLAN

C03.0

PANDA HOME



CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH
C-1	31.42'	20.00'	90.0000	28.28'
C-2	3.14'	4.00'	45.0000	3.06'

LINE TABLE				
LINE #	LENGTH	DIRECTION	START POINT	END POINT
L-1	71.20'	N08°49'45"E	859322.05, 2353136.71	859392.41, 2353147.63
L-2	51.50'	N08°49'45"E	859271.16, 2353128.80	859322.05, 2353136.71
L-3	8.00'	N08°49'45"E	859263.26, 2353127.57	859271.16, 2353128.80
L-4	118.57'	S81°10'15"W	859240.42, 2353144.27	859222.22, 2353261.43
L-5	82.75'	S81°10'15"E	859222.22, 2353261.43	859209.52, 2353343.20
L-6	79.50'	S08°49'45"W	859288.08, 2353355.40	859209.52, 2353343.20
L-7	70.51'	S08°49'45"W	859357.75, 2353366.23	859288.08, 2353355.40
L-8	221.32'	S81°10'15"E	859322.05, 2353136.71	859288.08, 2353355.40
L-9	108.92'	S81°10'15"E	859271.16, 2353128.80	859254.44, 2353236.43
L-10	37.94'	N36°10'15"W	859222.22, 2353261.43	859252.85, 2353239.04

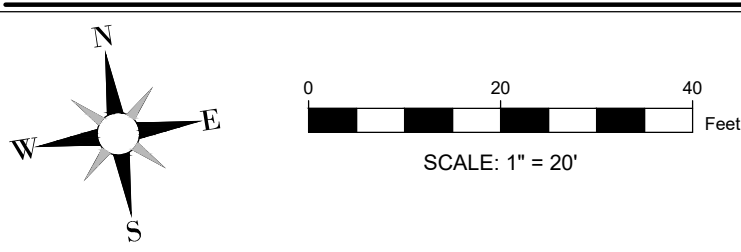
STAKING POINT TABLE			
POINT #	DESCRIPTION	NORTHING	EASTING
1	PROPERTY CORNER - NORTHWEST	859395.1492	2353130.3656
2	PROPERTY CORNER - NORTHEAST	859352.1157	2353401.7853
3	PROPERTY CORNER - SOUTHEAST	859185.7964	2353375.4163
4	PROPERTY CORNER - SOUTHWEST	859227.9773	2353103.8614
5	BUILDING CORNER - NORTHEAST	859271.8187	2353331.9634
6	BUILDING CORNER - SOUTHEAST	859229.7400	2353325.4272
7	BUILDING CORNER - SOUTHWEST	859240.2310	2353260.6027
8	BUILDING CORNER - NORTHWEST	859281.2720	2353266.2186
9	LIGHT POLE #1	859350.2405	2353165.3483
10	LIGHT POLE #2	859337.6724	2353251.1329
11	LIGHT POLE #3	859328.3369	2353328.7671
12	LIGHT POLE #4	859234.1809	2353380.4272
13	LIGHT POLE #5	859200.5257	2353316.4240
14	LIGHT POLE #6	859264.4794	2353243.5211
15	LIGHT POLE #7	859276.7313	2353164.6059

SITE STAKING NOTES SEE SHEET C01.1

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING FEATURES, INCLUDING BUT NOT LIMITED TO, UTILITIES, EXISTING IMPROVEMENTS, ETC. CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY



24-HOUR CONTACT:
CLAY WORTHY
(602) 931-6540



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01 02/21/2024 CITY COMMENTS

ISSUE DATE:

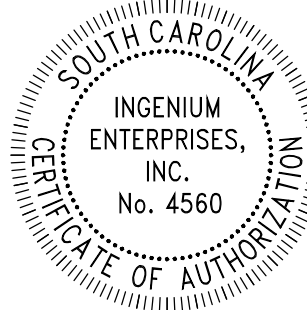
PERMIT/BID 12/14/2023
PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA

PANDA PROJECT #: D26523
PANDA STORE #: 3877
CIVIL PROJECT #: 230013



INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF
AUTHORITY #4560



STAKING PLAN

C03.1

PANDA HOME

PER SAWCUT
CONTROL JOINT
DETAIL ON THIS SHEET

REBAR
SEE PAVEMENT
REINFORCEMENT
TABLE

T

C

This diagram shows a cross-section of a concrete slab. A vertical line with a circle at the top indicates a sawcut control joint. Below the slab, a horizontal line represents the rebar reinforcement. The total thickness of the slab is labeled 'T' on the left, and the depth of the concrete above the rebar is labeled 'C' on the right. The slab is shown with a break in the middle, indicated by wavy lines. The rebar is shown as a series of circles with cross-hatching, and the concrete is shown as a stippled pattern.

Diagram illustrating the construction detail for a concrete joint, showing the placement of reinforcement and sealant.

Labels and Dimensions:

- FUTURE JOINT SEALANT (SEE ISOLATION JOINT DETAIL) PREMOLEDDED OR FORMED**: Points to the sealant at the joint.
- 1'-3" LAP**: Dimension for the lap length of the reinforcement.
- 1/8" RADIUS (TYP.)**: Dimension for the typical radius at the joint.
- FUTURE POUR**: Points to the area to be poured after the joint.
- PROPOSED POUR**: Points to the area to be poured before the joint.
- EXTEND REINFORCING 18" BEYOND EDGE OF CONCRETE. GREASE, WRAP IN BURLAP & BEND BACK AGAINST WOOD FORM BEFORE BACKFILLING**: Instruction for the reinforcement bar.
- REBAR SEE PAVEMENT REINFORCEMENT TABLE**: Points to the reinforcement bar.
- WOOD FORM**: Points to the formwork.
- C**: Dimension for the concrete thickness.

Diagram illustrating a joint detail. The diagram shows a cross-section of a concrete slab with a joint sealant (per expansion joint detail) and a rebar. The joint sealant is labeled "JOINT SEALANT (PER EXPANSION JOINT DETAIL)". The rebar is labeled "REBAR". The concrete slab is labeled "SEE PAVEMENT REINFORCEMENT TABLE". The joint sealant is shown as a dark, irregular shape. The rebar is shown as a horizontal line with circular cross-sections. The concrete slab is shown as a light gray area with small circles representing aggregate. The joint sealant is located at the bottom of the slab. The rebar is located in the middle of the slab. The concrete slab is supported by a foundation, column, pipe, wall, or sidewalk, which is labeled "FOUNDATION, COLUMN, PIPE, WALL OR SIDEWALK". The joint sealant is shown as a dark, irregular shape. The rebar is shown as a horizontal line with circular cross-sections. The concrete slab is shown as a light gray area with small circles representing aggregate. The joint sealant is located at the bottom of the slab. The rebar is located in the middle of the slab. The concrete slab is supported by a foundation, column, pipe, wall, or sidewalk, which is labeled "FOUNDATION, COLUMN, PIPE, WALL OR SIDEWALK".

Diagram illustrating the joint seal construction. The seal is hot poured rubber asphalt, flush with the pavement surface. The seal width is 1/4" MIN. The seal height is $\pm 1/16"$. The initial sawcut is shown below the seal. The seal is labeled "JOINT SEAL, HOT POURED RUBBER ASPHALT FLUSH WITH PAVEMENT SURFACE". The initial sawcut is labeled "INITIAL SAWCUT". The seal is shown in cross-section, with the pavement surface above it and the initial sawcut below it. The seal is 1/4" wide and $\pm 1/16"$ high. The initial sawcut is shown below the seal. The seal is labeled "JOINT SEAL, HOT POURED RUBBER ASPHALT FLUSH WITH PAVEMENT SURFACE". The initial sawcut is labeled "INITIAL SAWCUT".

Diagram illustrating the cross-section of a concrete slab on aggregate base. The diagram shows a concrete slab of thickness T resting on a 4" graded aggregate base. The concrete slab is reinforced with rebar, with labels indicating "PROP. CONC. PAVEMENT (4,000 PSI)" and "REBAR BOTH WAYS SEE TABLE." The aggregate base is labeled "4\" graded AGGREGATE BASE MEETING SCDOT STANDARD SPECIFICATIONS COMPACTED TO 100% OF MAX DRY DENSITY." The sub-grade is labeled "8\" COMPACTED SUB-GRADE (ASTM D698)." The total thickness of the concrete slab and aggregate base is labeled C .

1 CONCRETE SECTIONS NTS

2 PAVEMENT SECTIONS NTS

3.5" ASPHALT SURFACE COURSE

2" BINDER COURSE

TACK COAT

COMPACTED 6" GRADED AGGREGATE BASE COURSE

8" COMPACTED SUB-GRADE

2" ASPHALT SURFACE COURSE

2" BINDER COURSE

TACK COAT

COMPACTED 6" GRADED AGGREGATE BASE COURSE

8" COMPACTED SUB-GRADE

3 ADA PARKING NTS

5'-0"

CONCRETE FOOTING

1/2" EJT (4 SIDES)
SEALANT ON 1/2"
FILLER

2'-0"

6"

1'-6"

2" ϵ

PAVEMENT SECTION
(SEE PLANS)

YELLOW LDPE THERMOELASTIC
BUMPER POST SLEEVE FROM
IDEAL SHIELD - #BPD-YL-06-60-S
OR EQUAL INSTALL PER MFG.
SPECIFICATIONS.

6"Ø SCH 40 GALV STD STEEL PIPE
FILLED WITH CONCRETE-ROUND
OFF TOP (TYP). PAINT SAFETY
YELLOW PRIOR TO APPLICATION
OF LDPE SLEEVE.

(2) #5 x 10" STL REBAR
THRU POST EW
(2 PER POST)

5 **TRANSFORMER PAD** NTS

Diagram illustrating the dimensions and features of a wheelchair accessible parking space:

- SEE NOTE 3**: Points to the wheelstop.
- PLACE WHEELSTOP 3' FROM FACE OF CURB**: Dimension indicating the placement of the wheelstop.
- 4" BLUE**: Dimension indicating the width of the blue-painted curb.
- 4" BLUE**: Dimension indicating the width of the blue-painted curb.
- 60°**: Angle of the diagonal lines on the wheelchair accessible symbol.
- 5' MIN. FOR CAR**: Minimum length of the parking space for a car.
- 9' MIN. FOR VAN**: Minimum length of the parking space for a van.
- 3.5'**: Width of the parking space.
- 9'**: Total width of the parking space, including the 4" blue curb.

NOTE: CONCRETE TO COORDINATE ACTUAL SIZE OF PAD WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.

6"

6"

6" CONC. 4000 PSI, 650 FLEX

A

SECTION A-A

6" CONC. 4000 PSI, 650 FLEX

6"x6" W1.4xW1.4 W.W.M.

6"

COMPACTED SUBGRADE TO 100% STANDARD PROCTOR

This technical drawing illustrates the construction of a concrete pad. The top view shows a square pad with a 6-inch side length, indicated by dimension lines and the label "6\". A section line "A-A" is drawn across the pad, with arrows pointing to the right. A callout points to the pad material, specifying "6\" CONC. 4000 PSI, 650 FLEX". The cross-section "SECTION A-A" shows the pad's profile. It is a 6-inch thick concrete slab, also labeled "6\" CONC. 4000 PSI, 650 FLEX". A 6x6 inch W1.4xW1.4 W.W.M. (manhole) is shown as a circular opening in the center of the pad. Below the concrete pad is a layer of "COMPACTED SUBGRADE TO 100% STANDARD PROCTOR", represented by a hatched pattern. A 6-inch dimension line indicates the height of the concrete pad above the subgrade.



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

REVISIONS:

01 02/21/2024 CITY COMMENTS

ISSUE DATE:

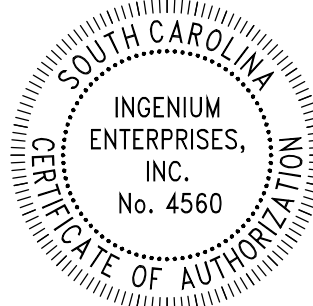
PERMIT/BID	12/14/2023
PERMIT/BID REVISION	02/21/2024

DRAWN BY: DA

PANDA PROJECT #: D26523
PANDA STORE #: 3877
CIVIL PROJECT #: 230013



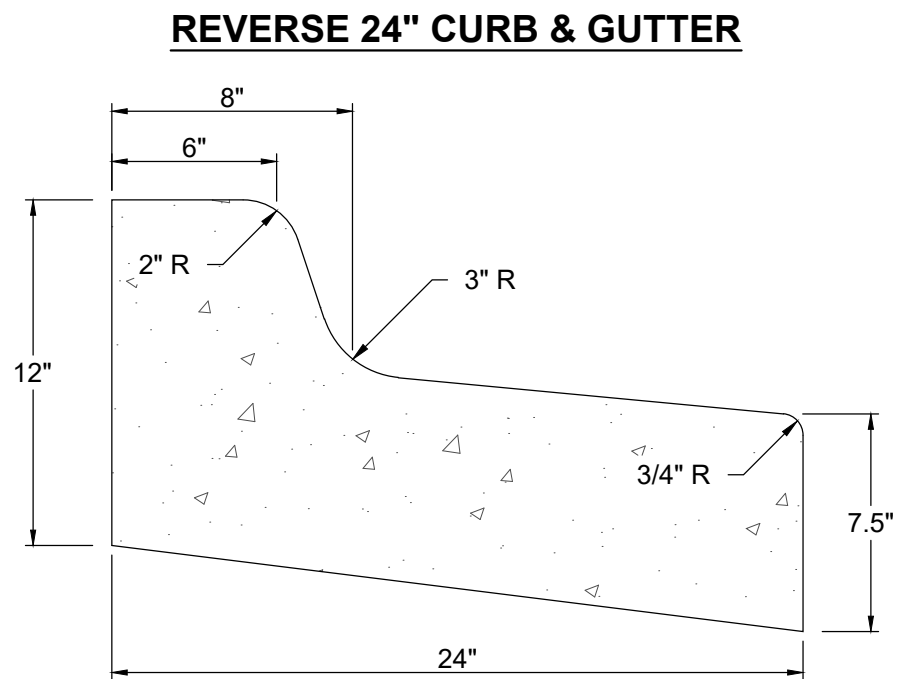
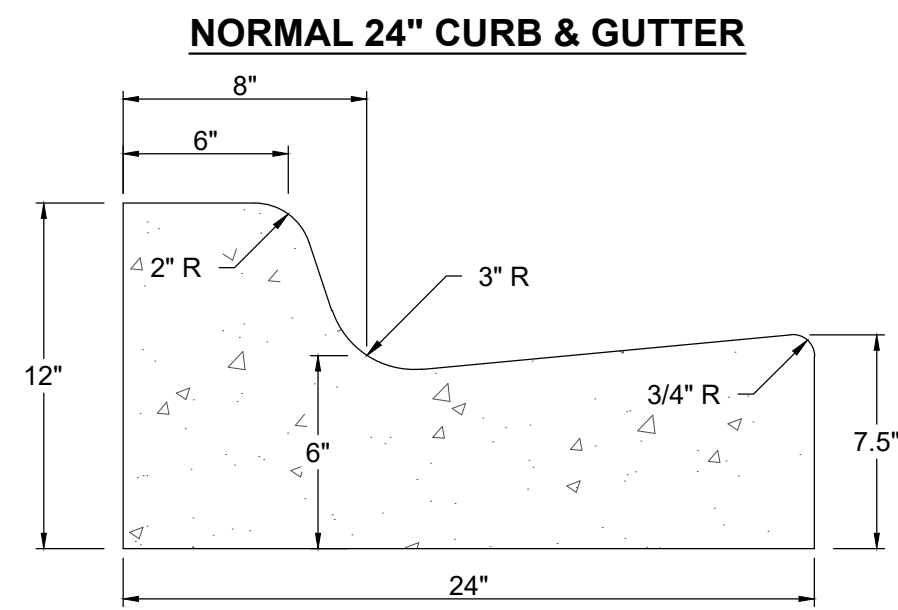
INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF
AUTHORITY #4560



HARDSCAPE DETAIL 1

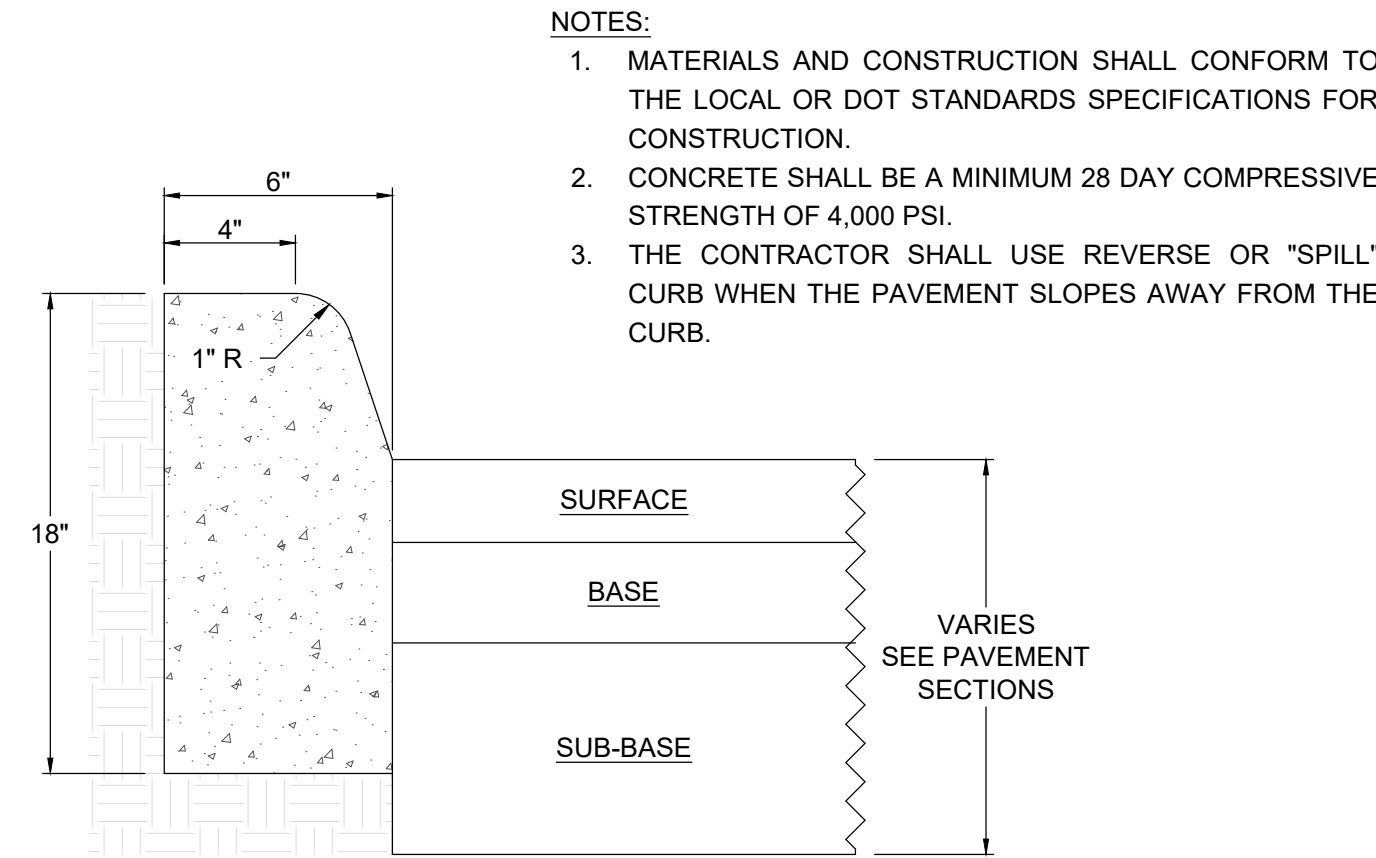
C03.2

PANDA HOME

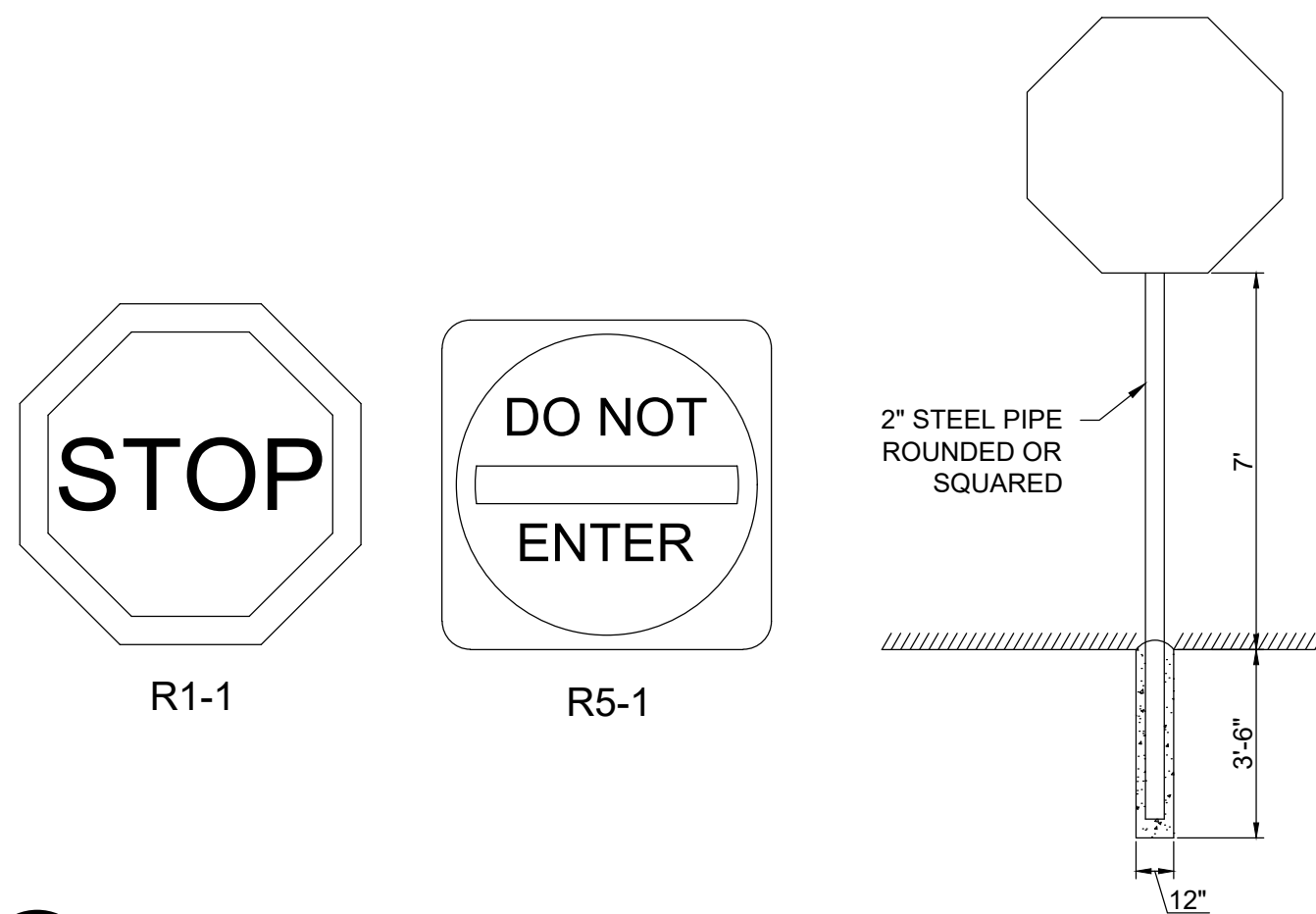


- NOTES:
1. MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE LOCAL OR DOT STANDARDS SPECIFICATIONS FOR CONSTRUCTION.
 2. CONCRETE SHALL BE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
 3. THE CONTRACTOR SHALL USE REVERSE OR "SPILL" CURB WHEN THE PAVEMENT SLOPES AWAY FROM THE CURB.

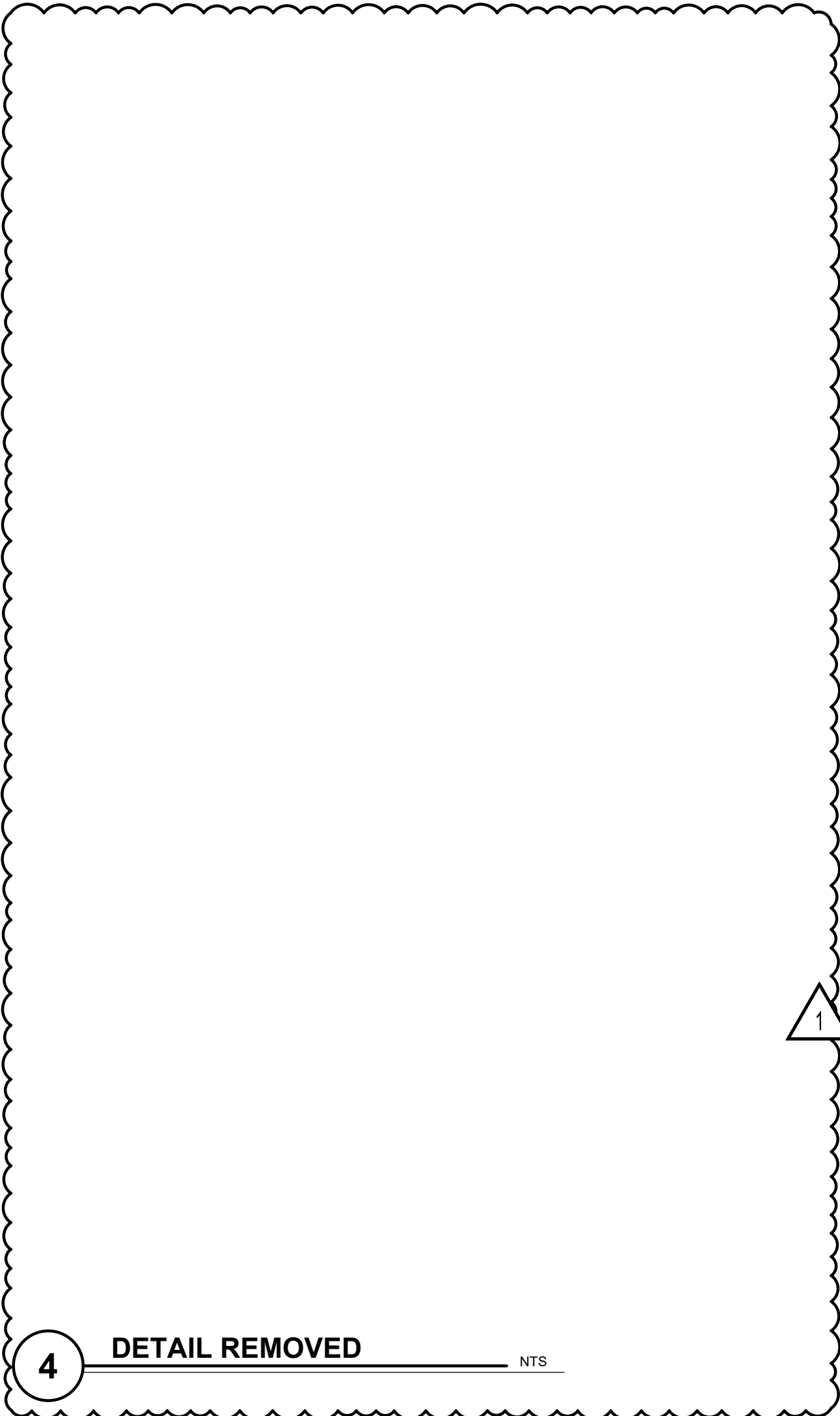
1 24" CURB & GUTTER NTS



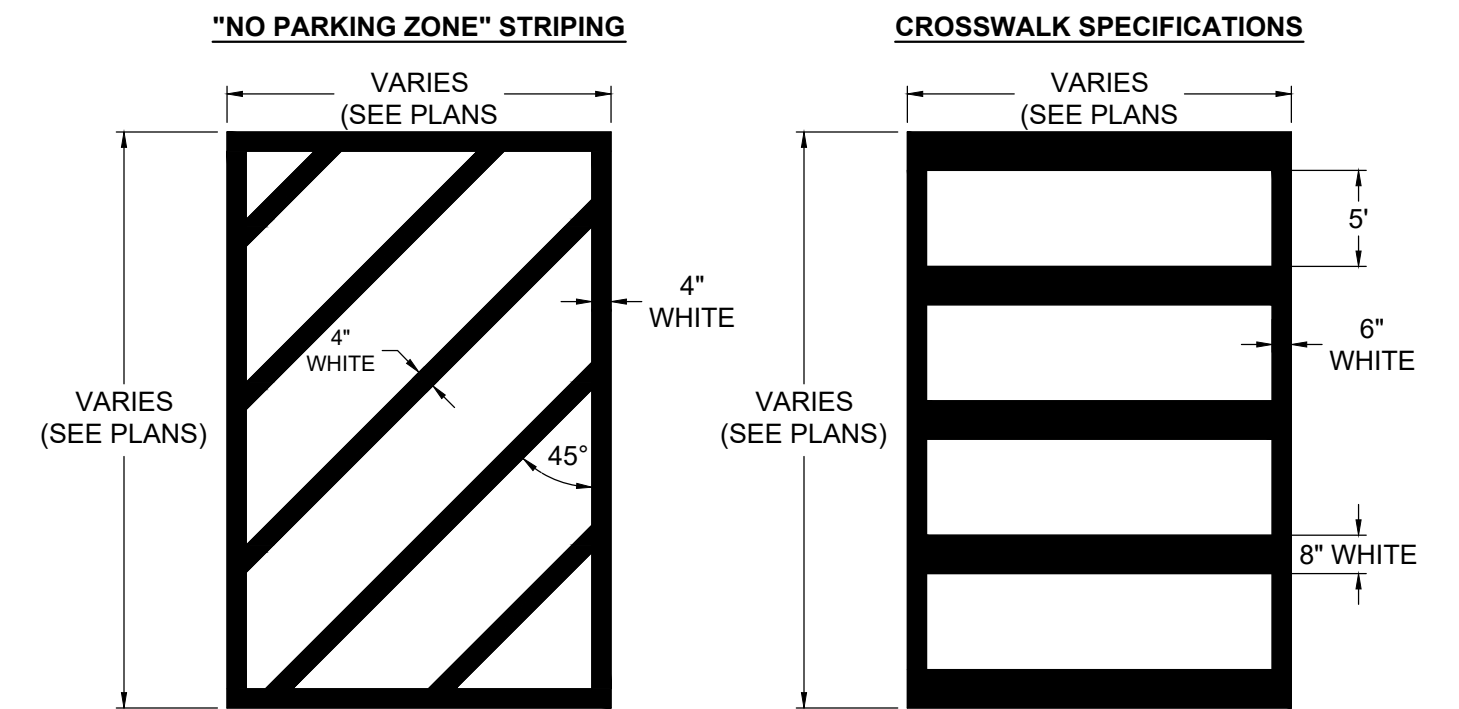
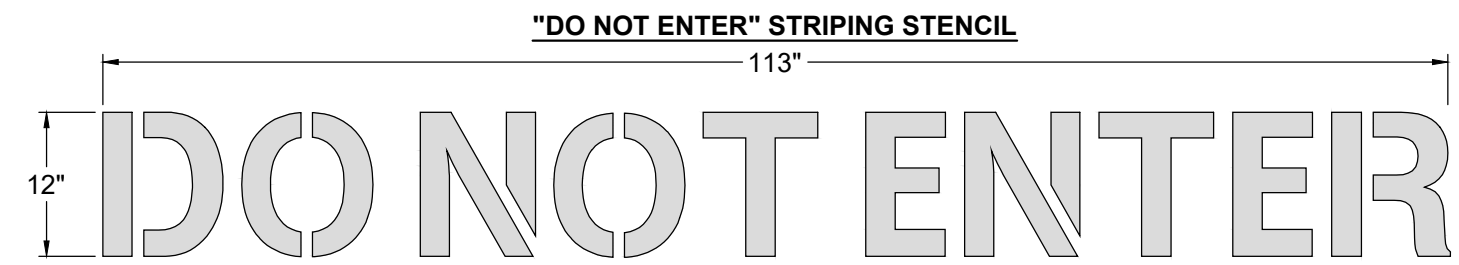
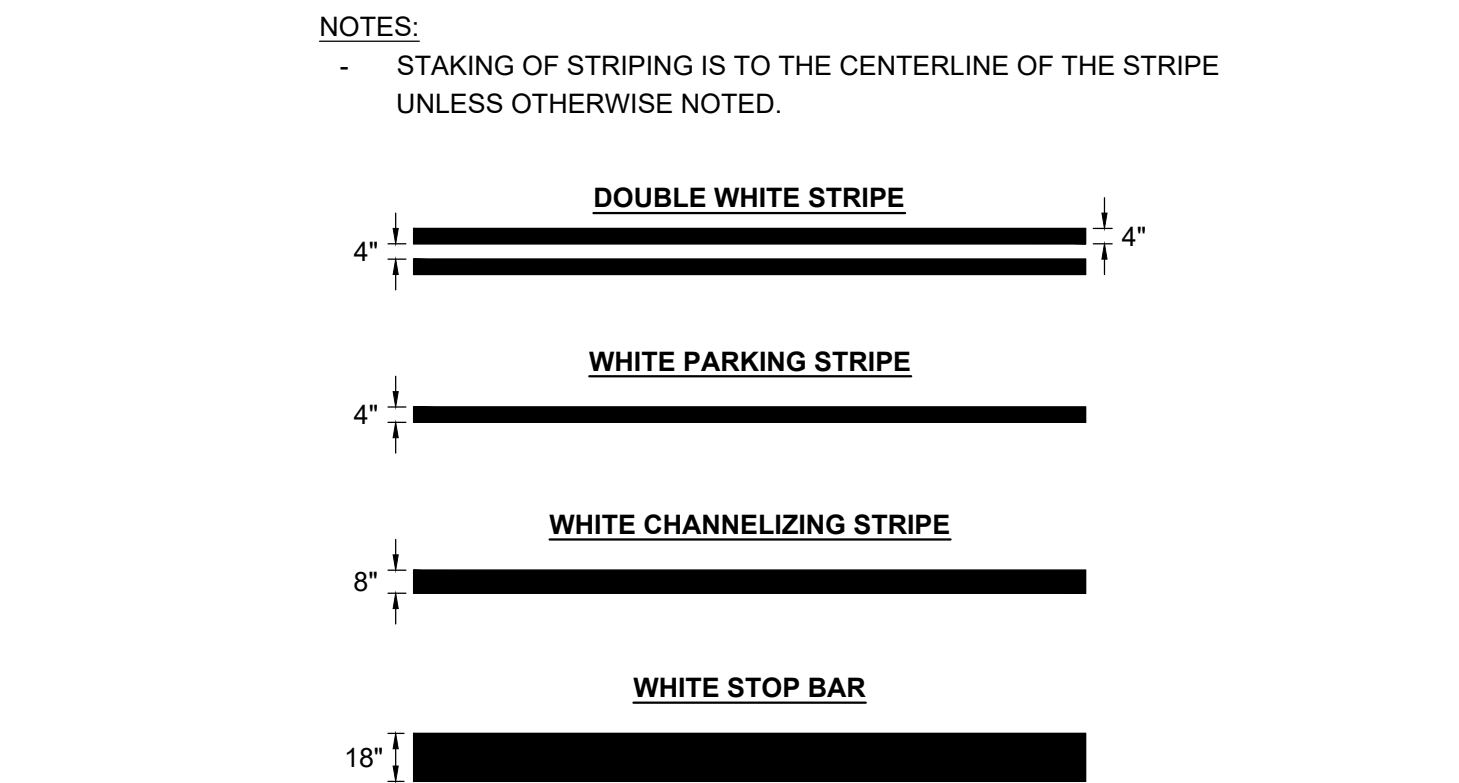
2 HEADER CURB NTS



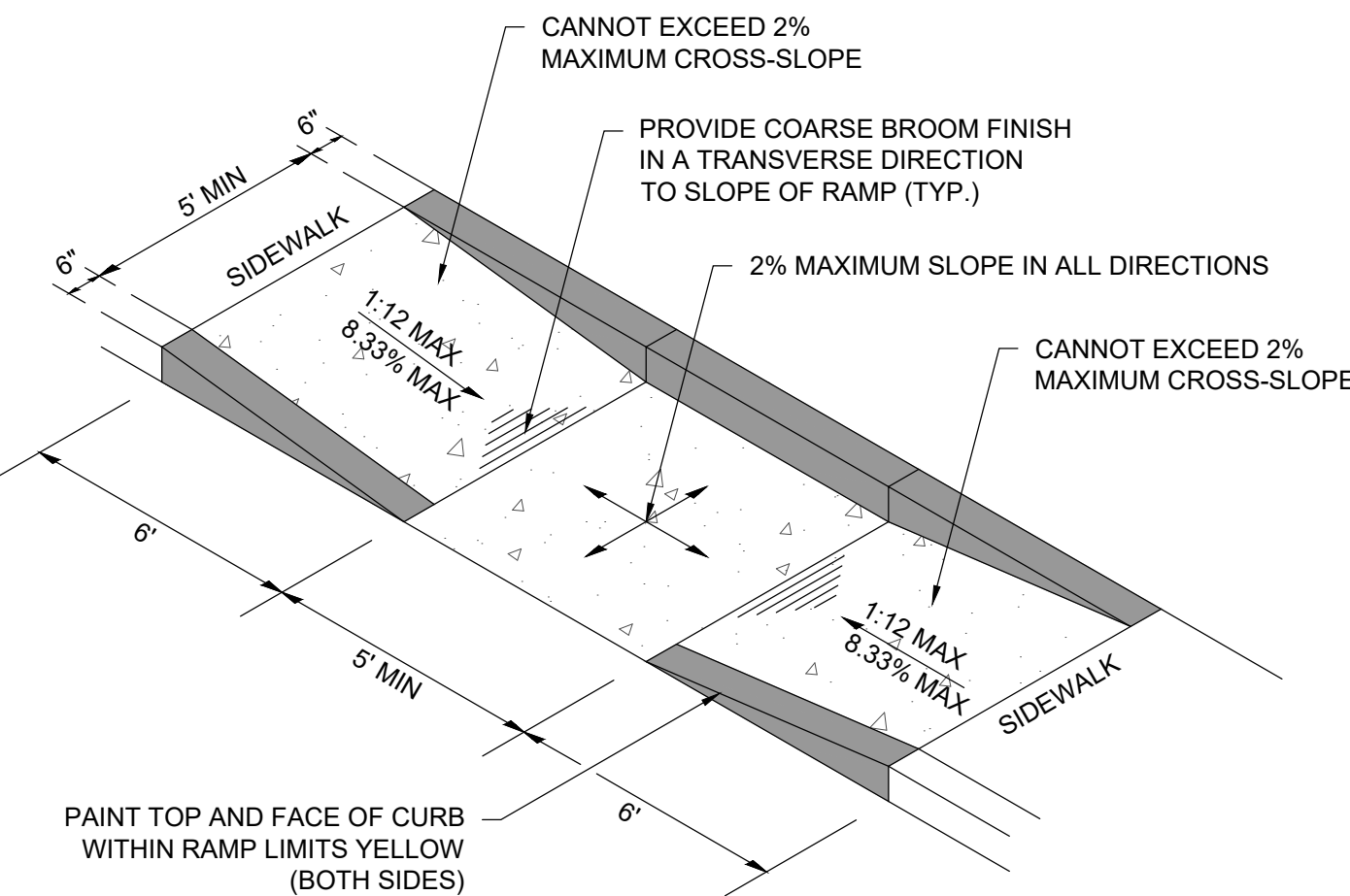
3 SITE SIGNAGE NTS



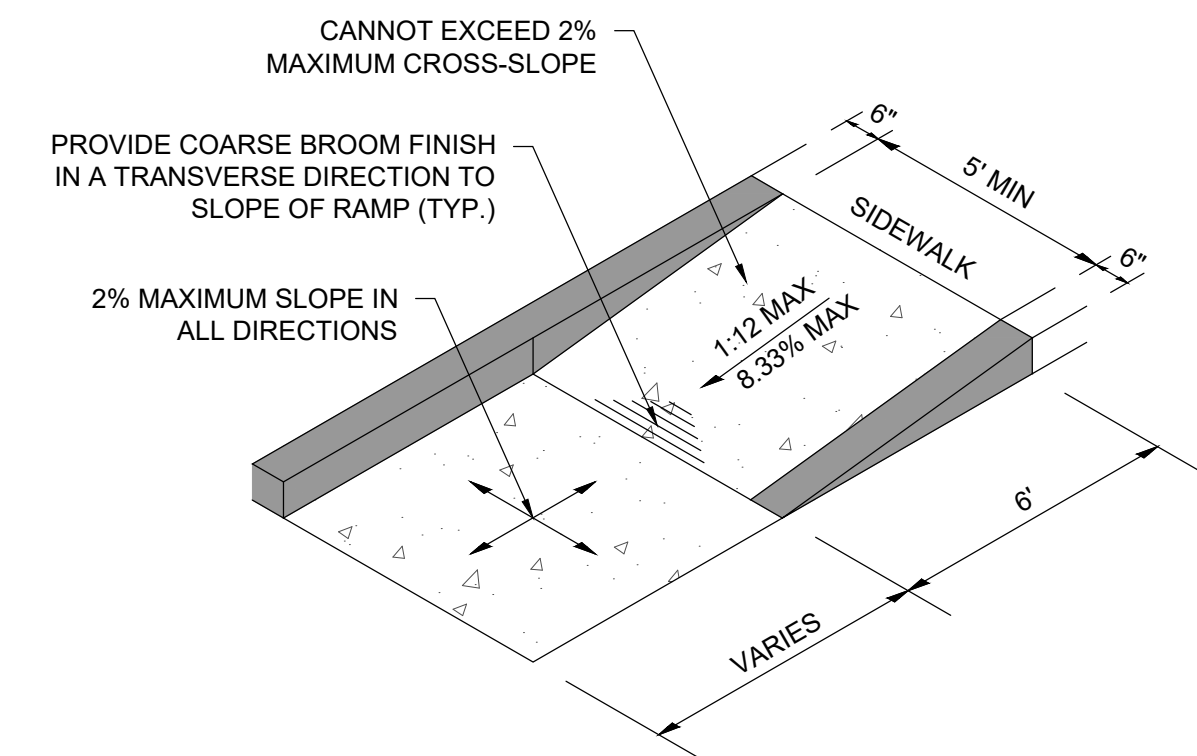
4 DETAIL REMOVED NTS



5 PAVEMENT MARKINGS NTS

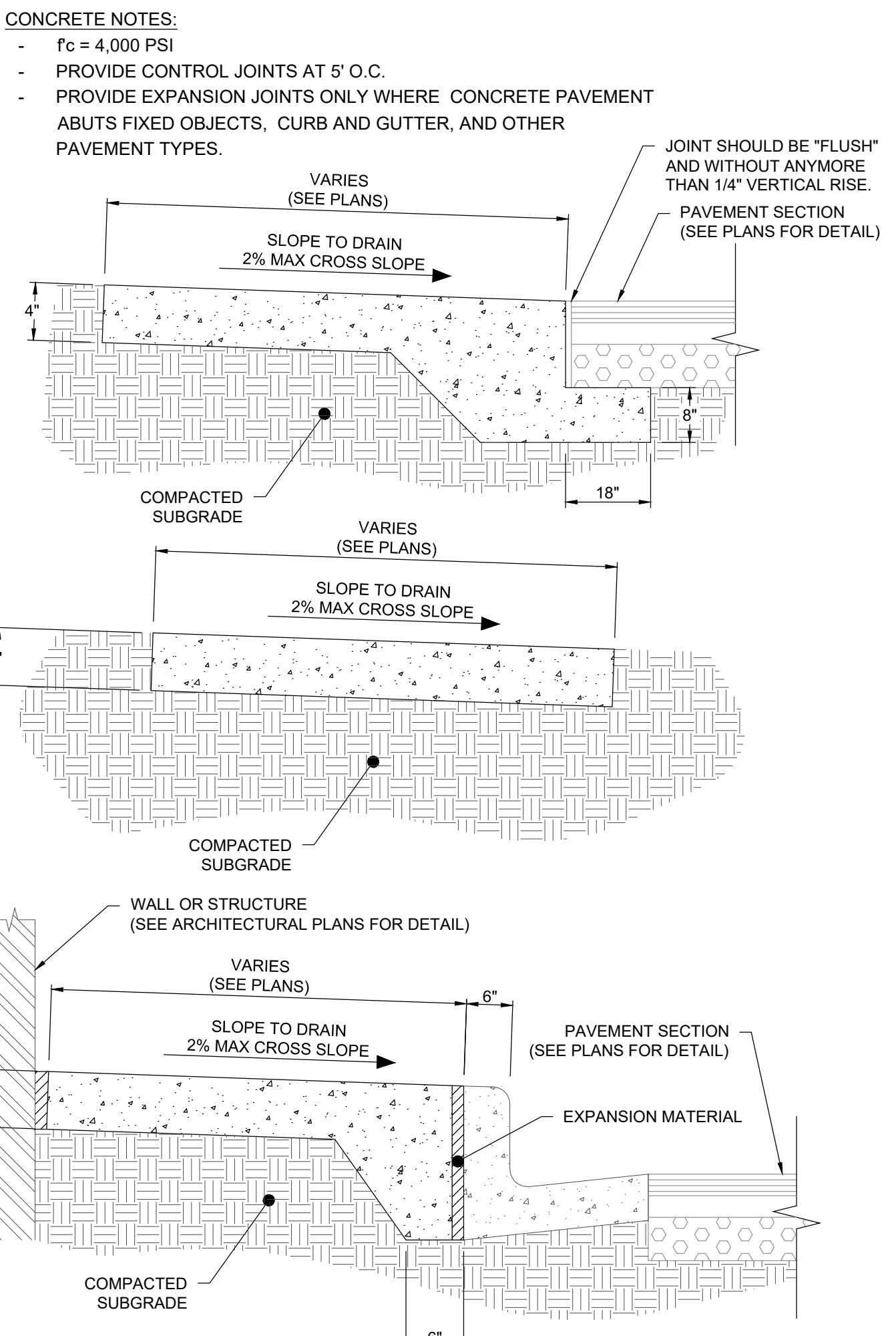


TYPE I

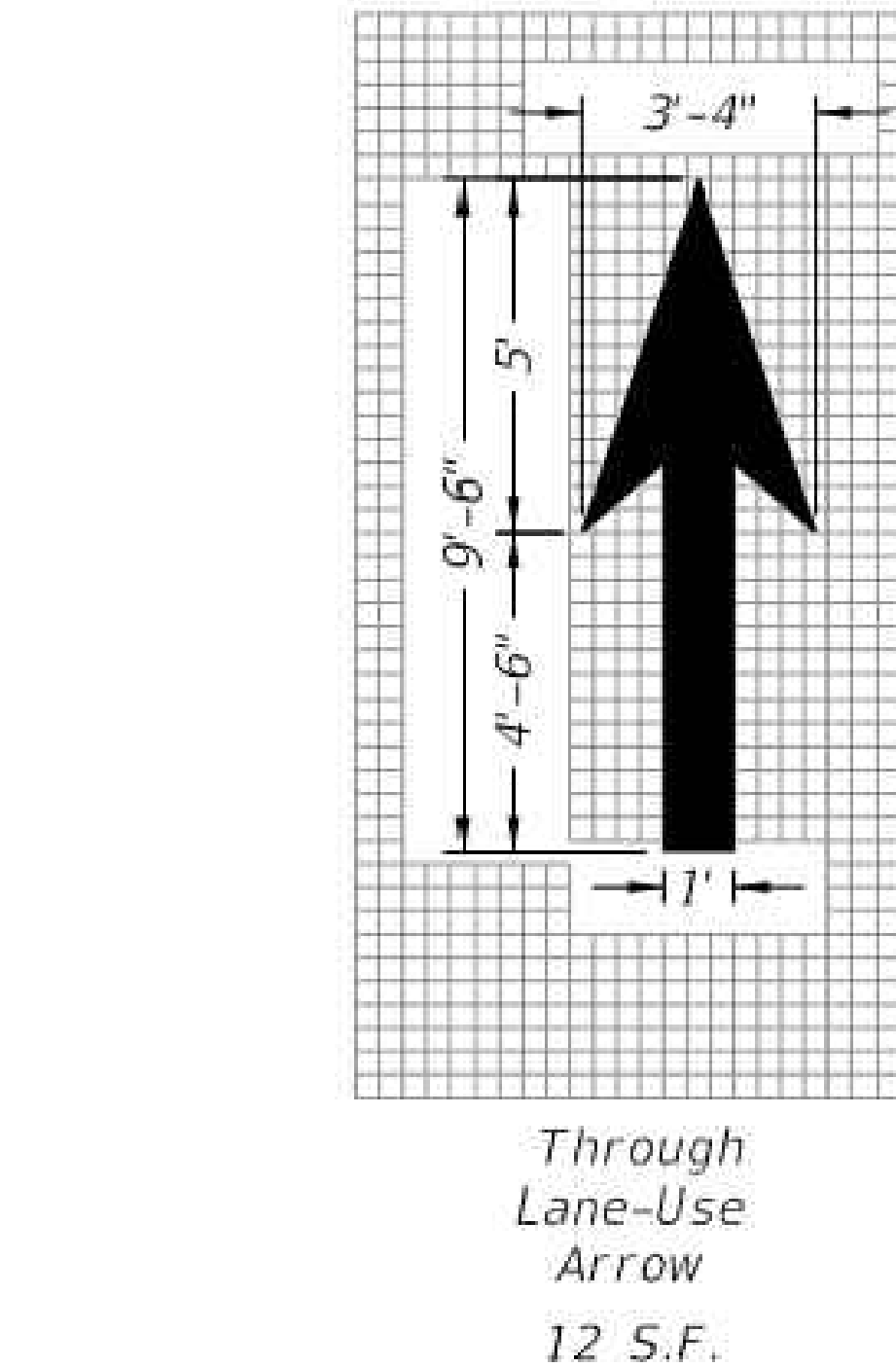


TYPE II

6 RAMPS NTS

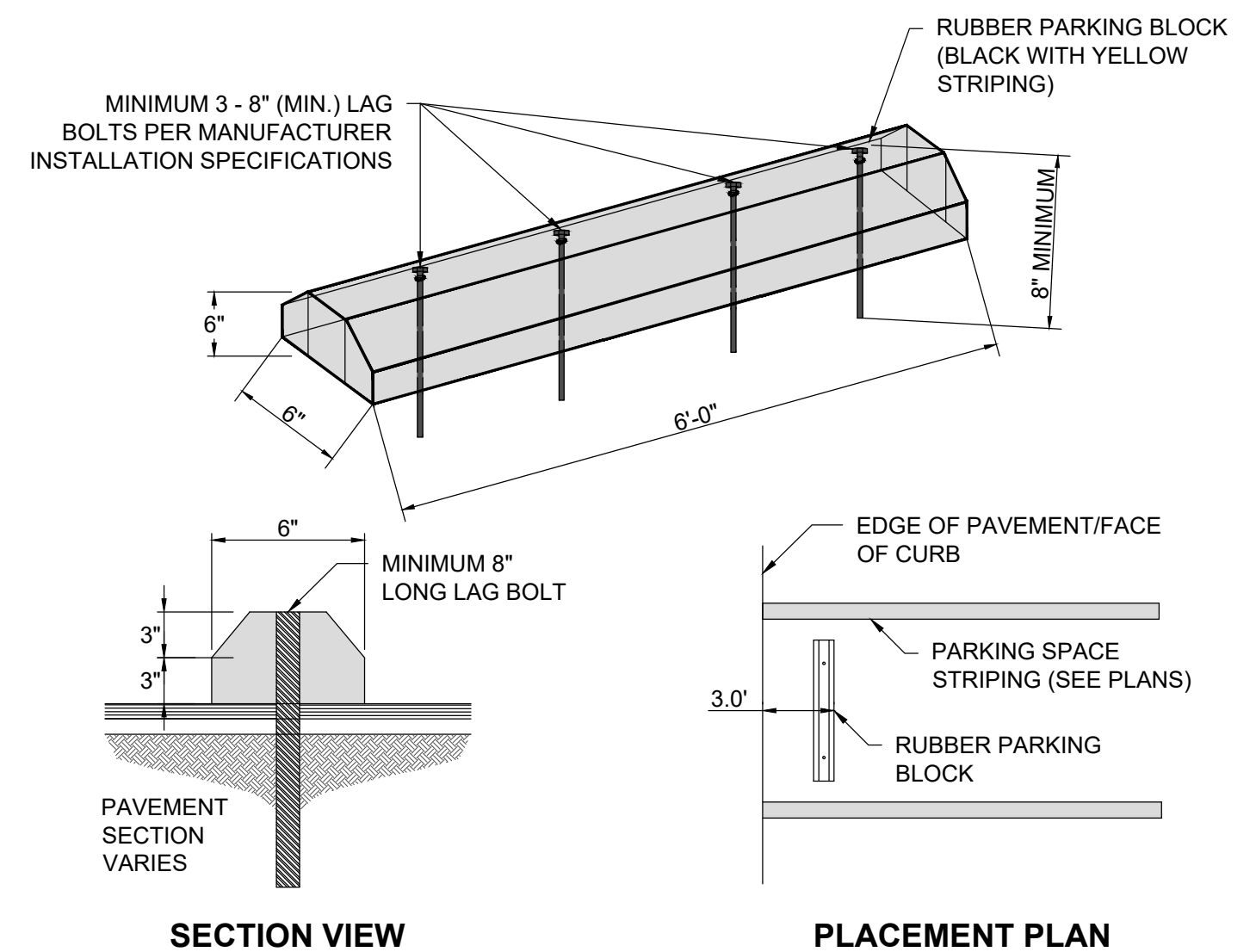


7 SIDEWALK SECTIONS NTS



8 DIRECTIONAL ARROW NTS

- LAG BOLT METHOD: RECOMMENDED FOR ASPHALT OR CONCRETE ONLY.
- TOOLS NEEDED:
- HIGH SPEED HAMMER DRILL WITH A $\frac{3}{8}$ " MASONRY DRILL BIT
 - IMPACT WRENCH OR HEAVY RATCHET WITH $\frac{3}{4}$ " SOCKET
1. POSITION THE PARKING BLOCK WHERE YOU WANT TO INSTALL IT. USING THE HOLES MOLDED IN THE PARKING BLOCK AS TEMPLATES, MARK THE LOCATION OF EACH HOLE ON THE SURFACE.
 2. REMOVE THE PARKING BLOCK. USING A HIGH-SPEED HAMMER DRILL WITH $\frac{3}{8}$ " MASONRY BIT, DRILL A 4" TO 4 $\frac{1}{2}$ " DEEP HOLE AT EACH MARKED LOCATION.
 3. INSERT A LAG ANCHOR (WITH THE LARGE ROUND HOLE IN THE ANCHOR FACING UP) INTO EACH HOLE. TAP THE ANCHOR INTO THE HOLES WITH A HAMMER SO THAT THE TOP OF EACH ANCHOR IS FLUSH WITH THE SURFACE.
 4. REPOSITION THE PARKING BLOCK SO THAT THE MOLDED HOLES LINE UP VERTICALLY WITH THE PILOT HOLES YOU DRILLED. BEGINNING IN THE CENTER HOLE, APPLY FIRM HAND PRESSURE. SLIP A WASHER ONTO A LAG BOLT. INSERT THE BOLT THROUGH THE HOLE IN THE PARKING BLOCK AND TIGHTEN THE BOLT ABOUT THREE QUARTERS OF THE WAY WITH A $\frac{3}{4}$ " SOCKET. REPEAT FOR EACH HOLE IN THE PARKING BLOCK. FINISH TIGHTENING EACH BOLT UNTIL JUST SNUG. DO NOT OVER TIGHTEN! EXCESSIVE TIGHTENING MAY DAMAGE THE PARKING BLOCK AND WILL VOID THE WARRANTY.
- **REFER TO MANUFACTURERS INSTALLATION SPECIFICATIONS ****



9 WHEELSTOPS NTS



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMead, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01 02/21/2024 CITY COMMENTS

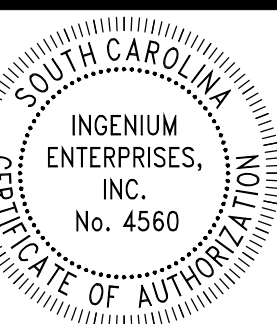
ISSUE DATE:

PERMIT/BID 12/14/2023
PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA

PANDA PROJECT #: D26523
PANDA STORE #: 3877
CIVIL PROJECT #: 230013

INGENIUM
INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF
AUTHORITY #4560



HARDSCAPE DETAIL II

C03.3

PANDA HOME

1

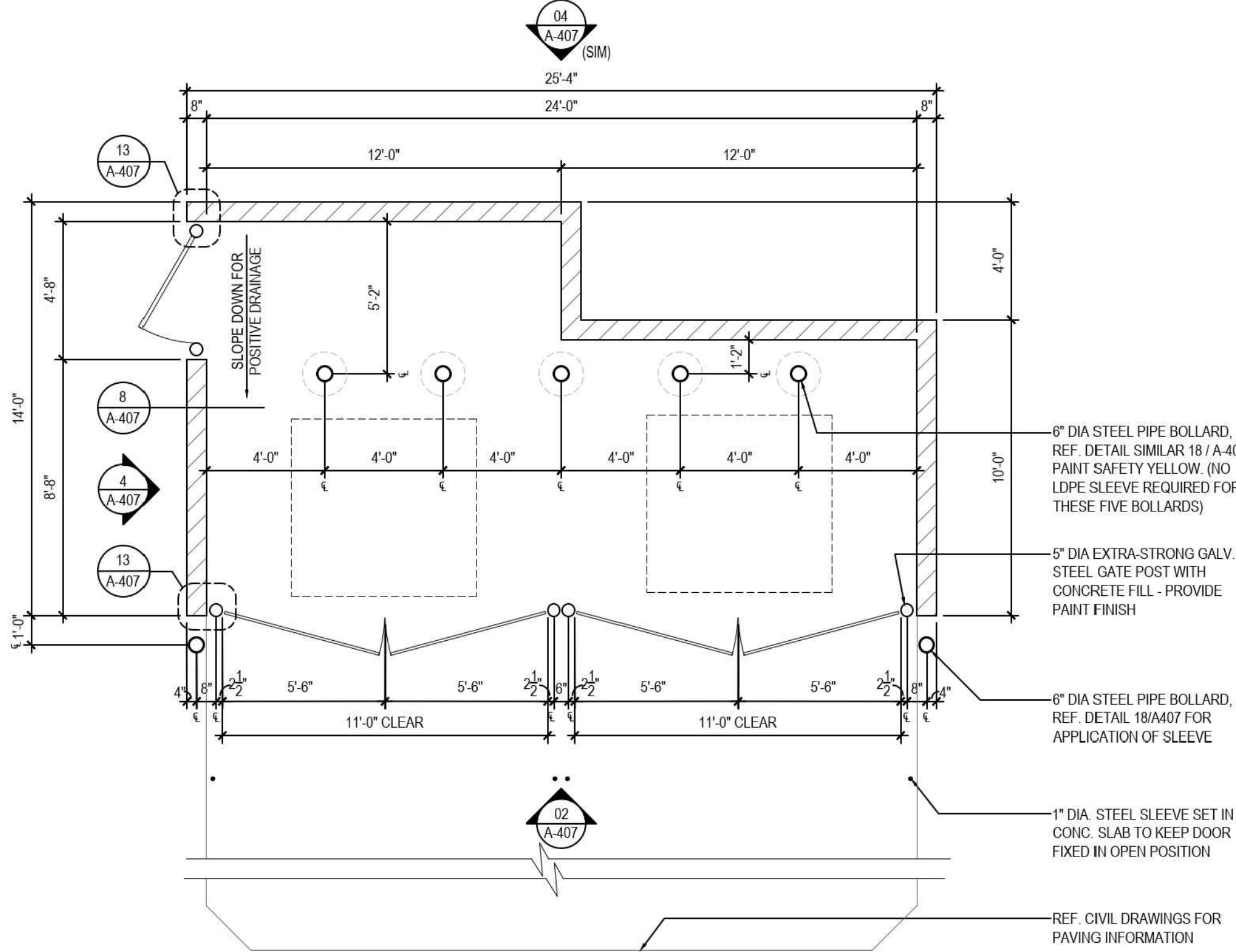
TRASH ENCLOSURE DETAIL

NTS

DETAIL INCLUDED FOR REFERENCE ONLY. SEE ARCHITECTURE PLANS FOR TRASH ENCLOSURE CONSTRUCTION.

NOTE:

FLOOR OF DUMPSTER AREA MUST BE BROOM FINISH AND SEALED WITH (AQUA MIX SEALER'S CHOICE GOLD) CEMENT SEALER.



PANDA EXPRESS, INC.

1683 WALNUT GROVE AVE.
ROSEMead, CALIFORNIA 91770

TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01 02/21/2024 CITY COMMENTS

ISSUE DATE:

PERMIT/BID 12/14/2023
PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA

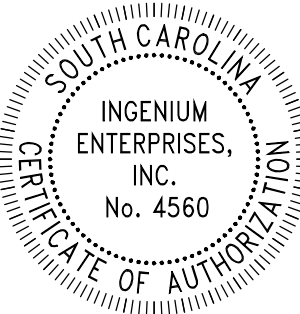
PANDA PROJECT #: D26523

PANDA STORE #: 3877

CIVIL PROJECT #: 230013



INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF
AUTHORITY #4560



HARDSCAPE DETAIL III

C03.4

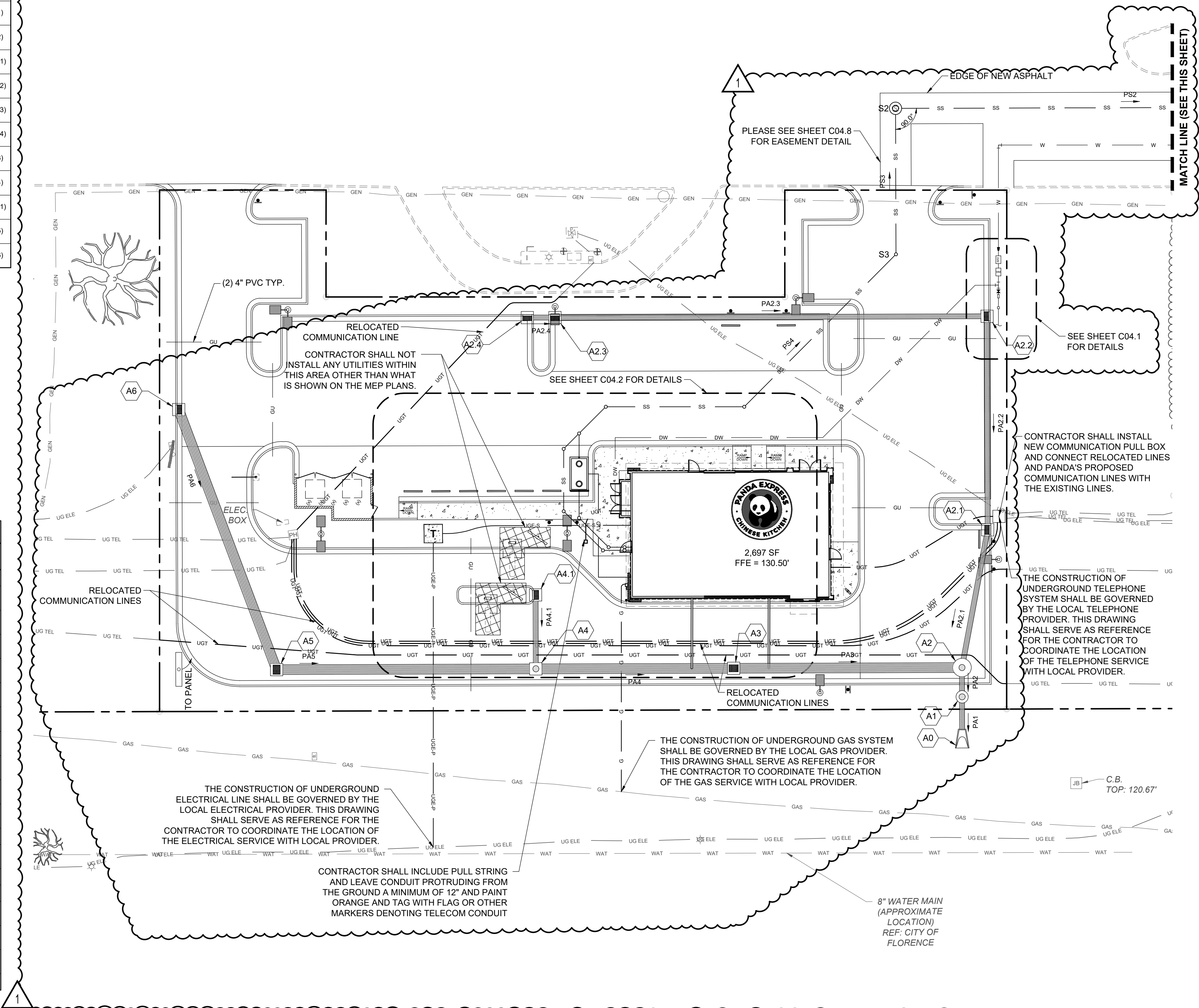
PANDA HOME

STORM STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE TYPE	RIM ELEVATION	INVERT IN	INVERT OUT
A0	FLARED END SECTION DETAIL 4, SHEET C04.6	123.43	121.37 (PA1)	
A1	BARRACUDA WQ UNIT DETAIL 1, SHEET C04.6	128.67	121.45 (PA2)	121.45 (PA1)
A2	OUTLET CONTROL STRUCTURE DETAIL 2, SHEET C04.4	130.00	121.50 (PA3) 121.50 (PA2.1)	121.50 (PA2)
A2.1	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	129.30	121.73 (PA2.2)	121.73 (PA2.1)
A2.2	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	129.00	122.07 (PA2.3)	122.07 (PA2.2)
A2.3	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	129.20	122.78 (PA2.4)	122.77 (PA2.3)
A2.4	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	129.00		122.82 (PA2.4)
A3	DROP INLET DETAIL 1, SHEET C04.7	129.80	121.87 (PA4)	121.87 (PA3)
A4	JUNCTION BOX DETAIL 3, SHEET C04.4	129.75	122.19 (PA5) 123.69 (PA4.1)	122.19 (PA4)
A4.1	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	130.06		123.81 (PA4.1)
A5	DROP INLET DETAIL 1, SHEET C04.7	130.10	123.26 (PA6)	122.61 (PA5)
A6	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	131.50		123.71 (PA6)

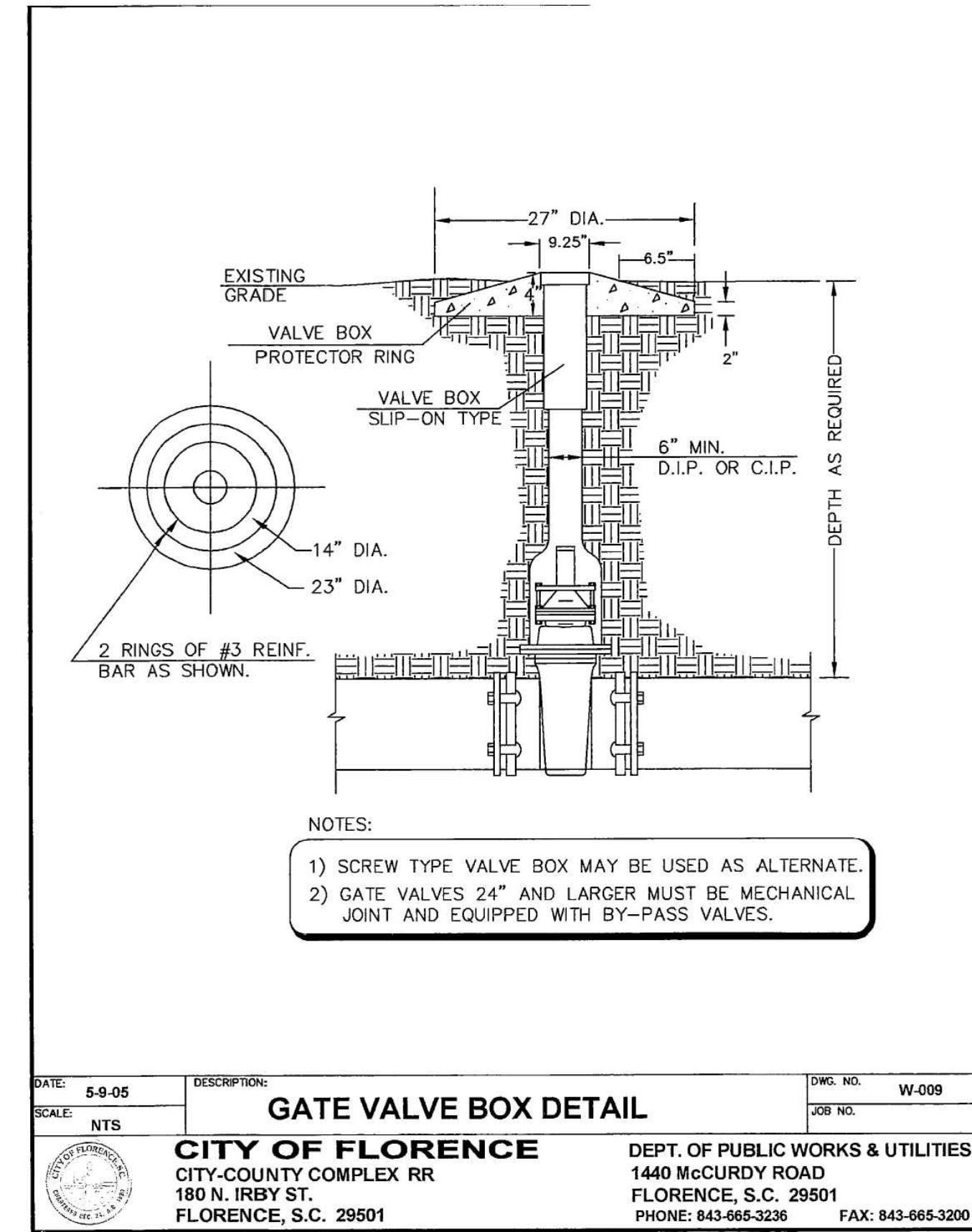
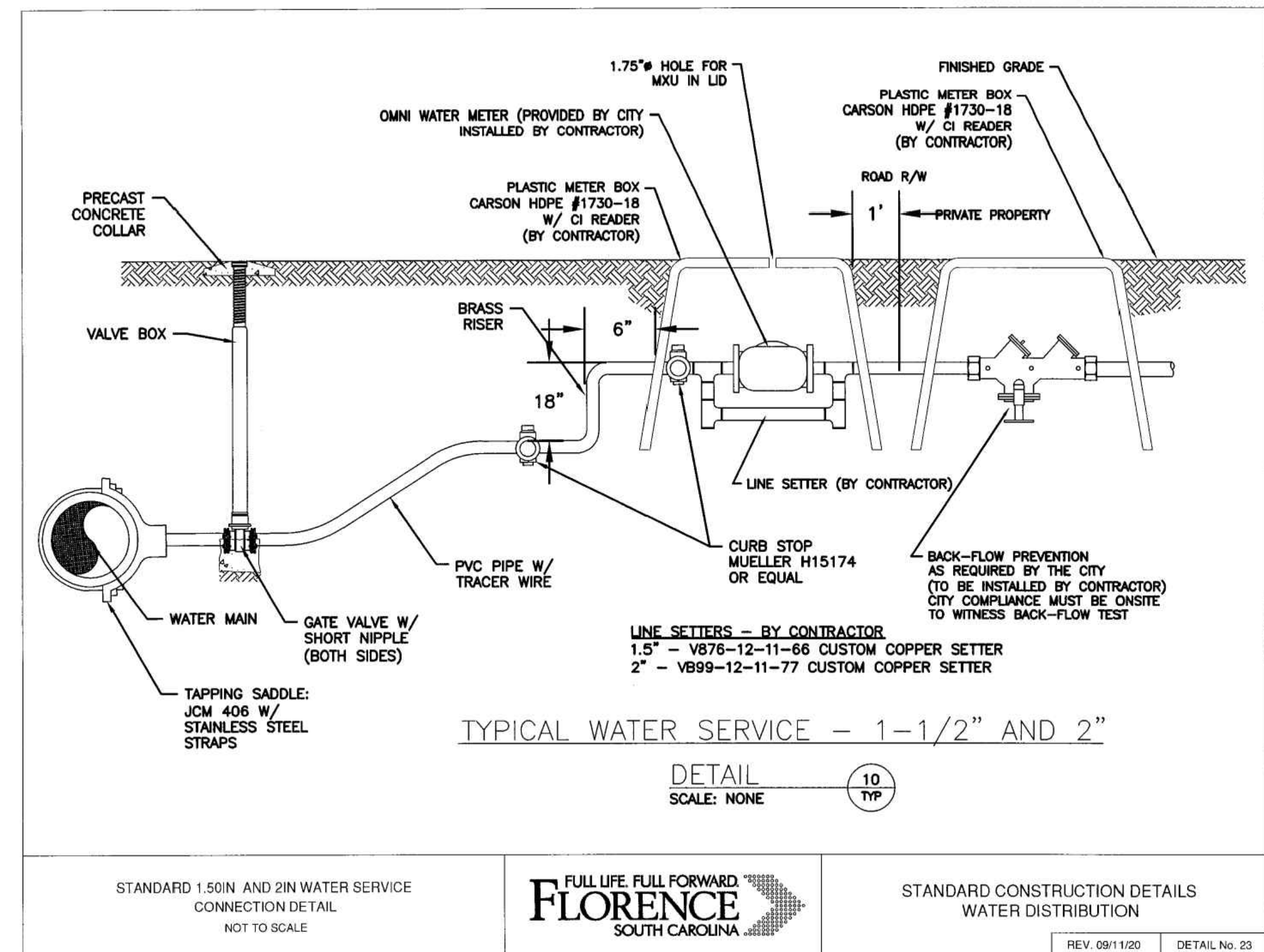
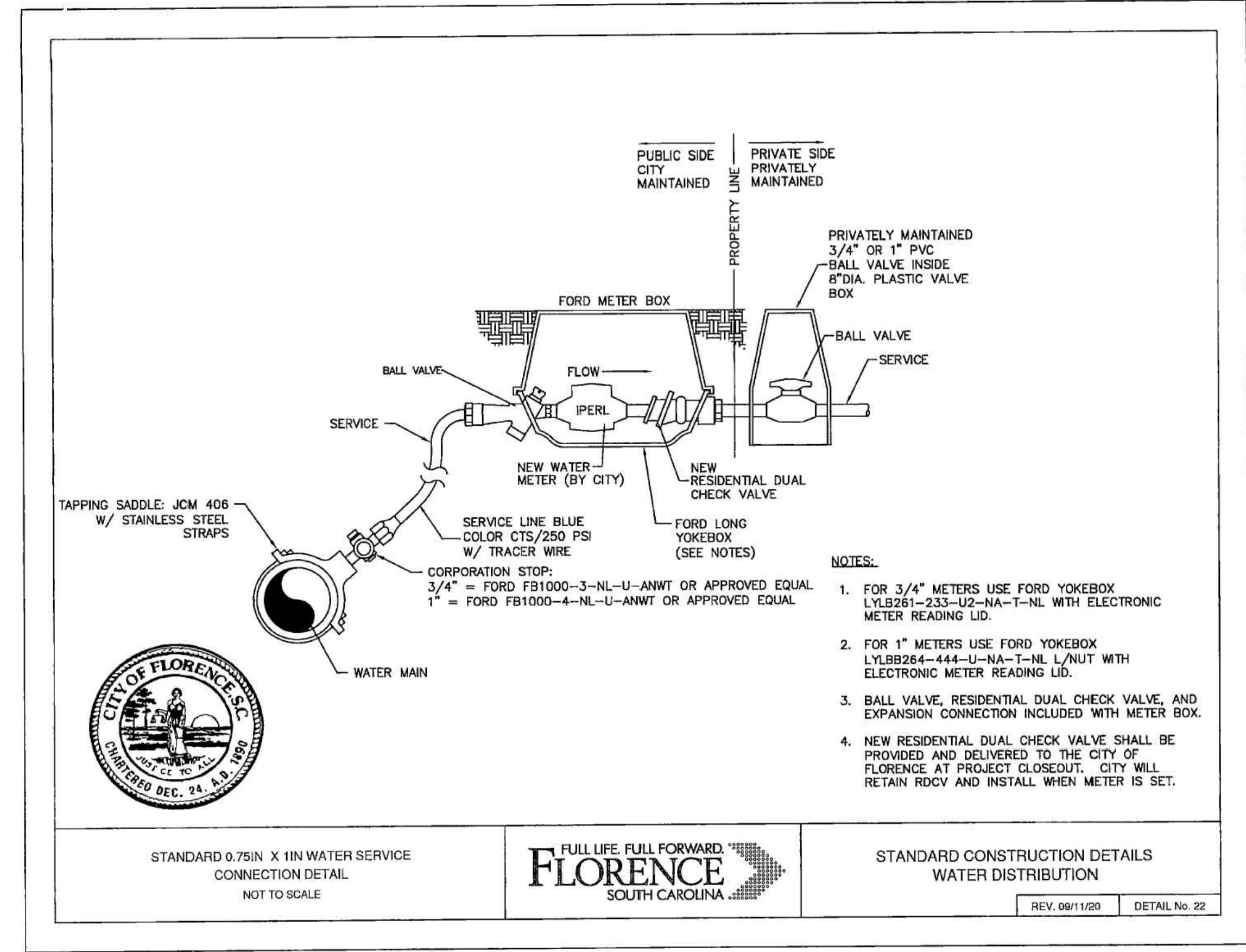
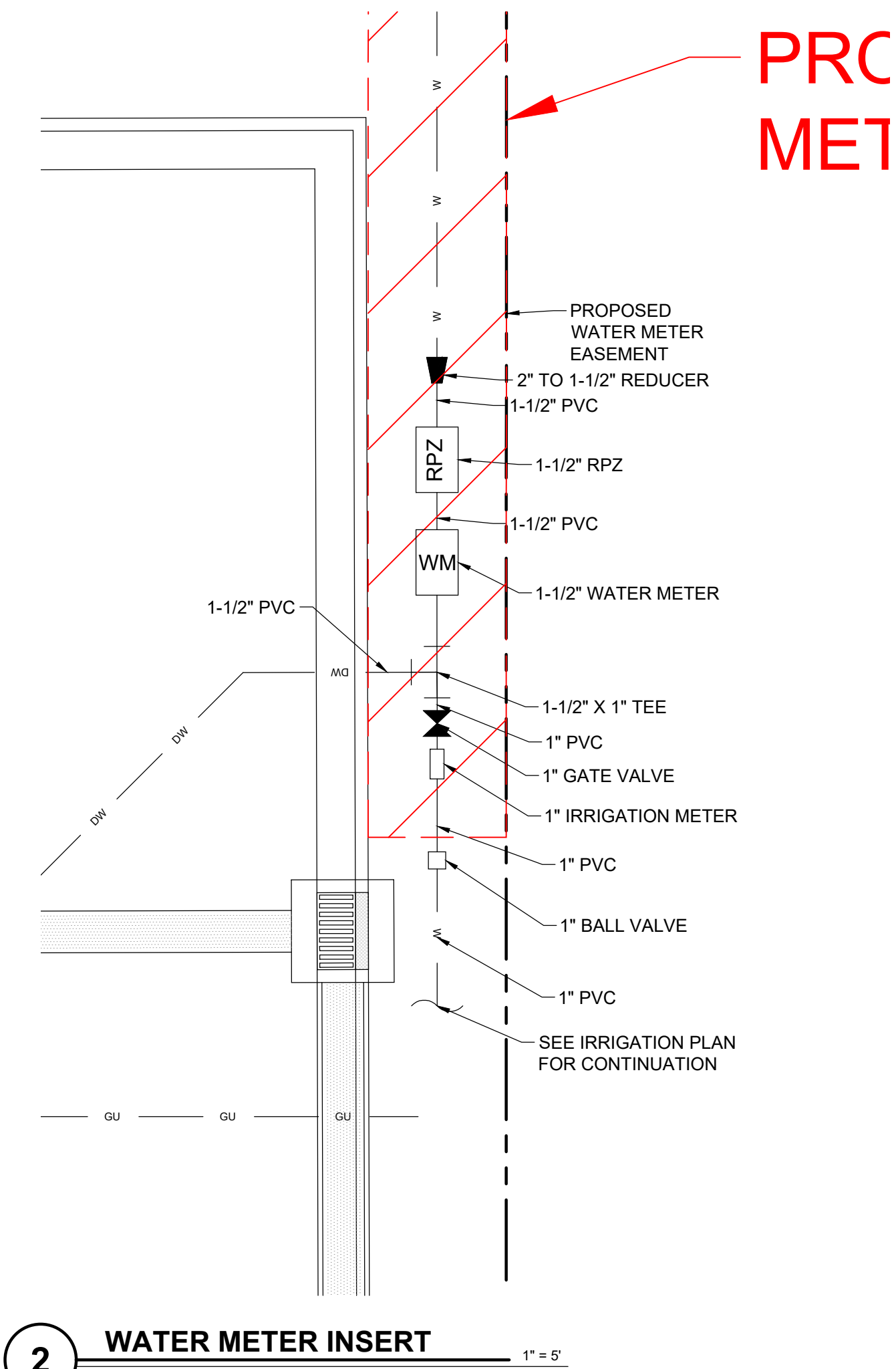
STORM PIPE TABLE				
PIPE NAME	SIZE	LENGTH	SLOPE	MATERIAL
PA1	18"	16.59'	0.50%	HDPE
PA2	18"	9.51'	0.50%	HDPE
PA2.1	18"	45.50'	0.50%	HDPE
PA2.2	18"	69.31'	0.50%	HDPE
PA2.3	18"	140.17'	0.50%	HDPE
PA2.4	18"	9.00'	0.50%	HDPE
PA3	36"	74.07'	0.50%	HDPE
PA4	36"	64.18'	0.50%	HDPE
PA4.1	18"	24.00'	0.50%	HDPE
PA5	36"	84.09'	0.50%	HDPE
PA6	36"	90.19'	0.50%	HDPE

SANITARY STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE TYPE	RIM ELEVATION	INVERT IN	INVERT OUT
EX1	EXISTING SEWER MANHOLE	124.94	116.12 (PS1)	
S1	SANITARY SEWER MANHOLE DETAIL 4, SHEET C04.2	127.12	119.63 (PS2)	119.63 (PS1)
S2	SANITARY SEWER MANHOLE DETAIL 4, SHEET C04.2	128.92	123.10 (PS3)	123.10 (PS2)
S3	CLEANOUT DETAIL 2, SHEET C04.2	129.55	123.94 (PS4)	123.94 (PS3)
S4	CLEANOUT DETAIL 2, SHEET C04.2	130.27	125.16 (PS5)	125.16 (PS4)
S5	CLEANOUT DETAIL 2, SHEET C04.2	130.12	125.94 (PS6)	125.94 (PS5)
S6	CLEANOUT DETAIL 2, SHEET C04.2	130.02	126.16 (PS7) 126.16 (PS6.1)	126.16 (PS6)
S6.1	CLEANOUT DETAIL 2, SHEET C04.2	130.07	126.28 (PS6.2)	126.28 (PS6.1)
S6.2	CLEANOUT DETAIL 2, SHEET C04.2	130.25	126.64 (PS6.3)	126.63 (PS6.2)
S6.3	CLEANOUT DETAIL 2, SHEET C04.2	130.36	126.95 (PS6.4)	126.95 (PS6.3)
S6.4	CLEANOUT DETAIL 2, SHEET C04.2	130.44	127.07 (PS6.5)	127.07 (PS6.4)
S6.5	BUILDING STUB	130.50		127.11 (PS6.5)
S7	1000 GALLON GREASE TRAP DETAIL 3, SHEET C04.2	130.28		
S7-IN	GREASE TRAP STUB-IN	130.31	126.49 (PS8)	
S7-OUT	GREASE TRAP STUB-OUT	130.17		126.29 (PS7)
S8	CLEANOUT DETAIL 2, SHEET C04.2	130.30	126.64 (PS9)	126.64 (PS8)
S9	CLEANOUT DETAIL 2, SHEET C04.2	130.38	126.88 (PS10)	126.88 (PS9)
S10	CLEANOUT DETAIL 2, SHEET C04.2	130.44	126.97 (PS11)	126.97 (PS10)
S11	BUILDING STUB	130.50		127.00 (PS11)

SANITARY PIPE TABLE				
PIPE NAME	SIZE	LENGTH	SLOPE	MATERIAL
PS1	6"	175.28'	2.00%	PVC
PS2	6"	173.78'	2.00%	PVC
PS3	6"	47.36'	1.76%	PVC
PS4	6"	69.80'	1.75%	PVC
PS5	6"	44.91'	1.75%	PVC
PS6	6"	12.27'	1.75%	PVC
PS6.1	6"	7.08'	1.75%	PVC
PS6.2	6"	20.27'	1.75%	PVC
PS6.3	6"	17.98'	1.75%	PVC
PS6.4	6"	7.00'	1.75%	PVC
PS6.5	4"	2.01'	1.75%	PVC
PS7	6"	7.64'	1.75%	PVC
PS8	6"	8.79'	1.75%	PVC
PS9	6"	13.49'	1.75%	PVC
PS10	6"	5.18'	1.75%	PVC
PS11	4"	2.00'	1.45%	PVC



UTILITY INFORMATION					
WATER					
	GC	SELLER	OWNER	UTILITY	ADDITIONAL NOTES
LINE EXTENSION TO PROPERTY LINE	●				**
PIPEING FROM PROPERTY LINE TO BUILDING	●				**
TAPPING THE MAIN	●				**
WATER VAULT	●				**
WATER (METER) PIT	●				**
DOMESTIC METER	●				**
FIRE METER					N/A
IRRIGATION METER				●	**
DOMESTIC BFP	●				**
FIRE BFP					**
IRRIGATION BFP	●				N/A
OBTAINING EASEMENTS	●				**
OBTAINING ROW WORK PERMITS	●				**
SANITARY SEWER					
	GC	SELLER	OWNER	UTILITY	ADDITIONAL NOTES
LINE EXTENSION TO PROPERTY LINE	●				**
TAPPING THE MAIN	●				**
SERVICE LATERAL (INSIDE PROPERTY)	●				**
OBTAINING EASEMENTS	●				**
OBTAINING ROW WORK PERMITS	●				**
ELECTRIC					
	GC	SELLER	OWNER	UTILITY	ADDITIONAL NOTES
PRIMARY CONDUIT	●				**
PRIMARY CABLE				●	**
PRIMARY FINAL CONNECTION				●	**
TRANSFORMER				●	**
TRANSFORMER PAD	●				**
POLE					N/A
SECONDARY CONDUIT	●				**
SECONDARY CABLE	●				**
SECONDARY FINAL INSPECTION				●	**
METER				●	**
CT CABINET	●				**
CT METER CONDUIT	●				**
SOCKET	●				**
OBTAINING EASEMENTS	●				**
OBTAINING ROW WORK PERMITS	●				**
TELEPHONE					
	GC	SELLER	OWNER	UTILITY	ADDITIONAL NOTES
CONDUIT					**
TRENCH & BACKFILL	●				**
CABLE & WIRE				●	**
OBTAINING EASEMENTS	●				**
OBTAINING ROW WORK PERMITS	●				**
GAS					
	GC	SELLER	OWNER	UTILITY	ADDITIONAL NOTES
TAP				●	**
TRENCH & BACKFILL				●	**
PIPING				●	**
METER				●	**
REGULATOR				●	**
OBTAINING EASEMENTS	●				**
OBTAINING ROW WORK PERMITS				●	**



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8268

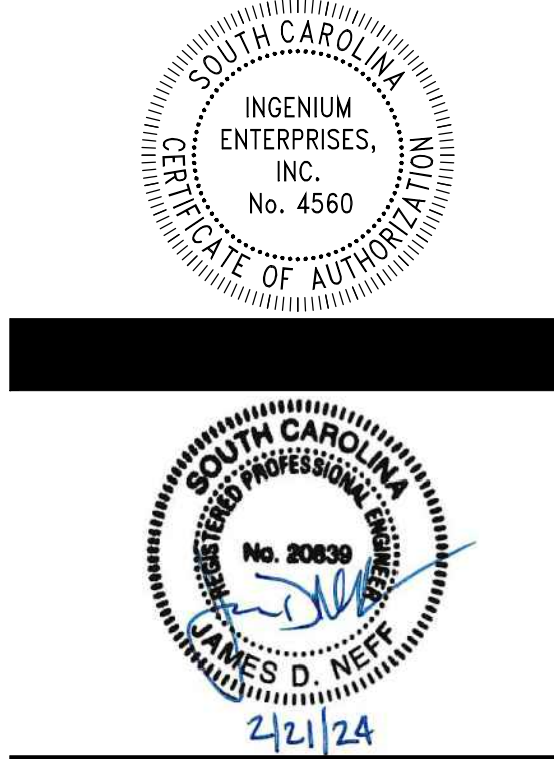
All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:
01 02/21/2024 CITY COMMENTS

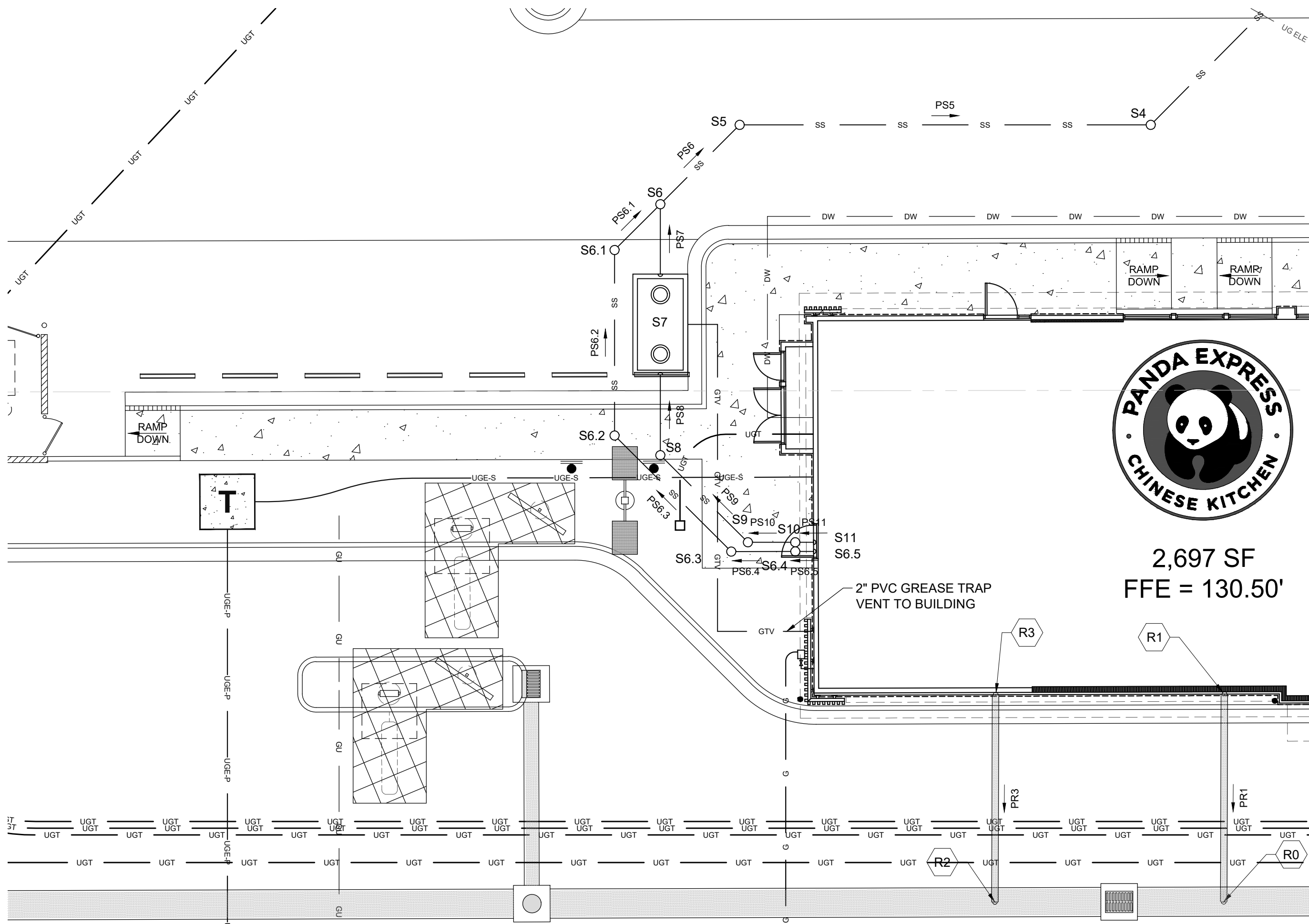
ISSUE DATE:
PERMIT/BID 12/14/2023
PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA
PANDA PROJECT #: D26523
PANDA STORE #: 3877
CIVIL PROJECT #: 230013

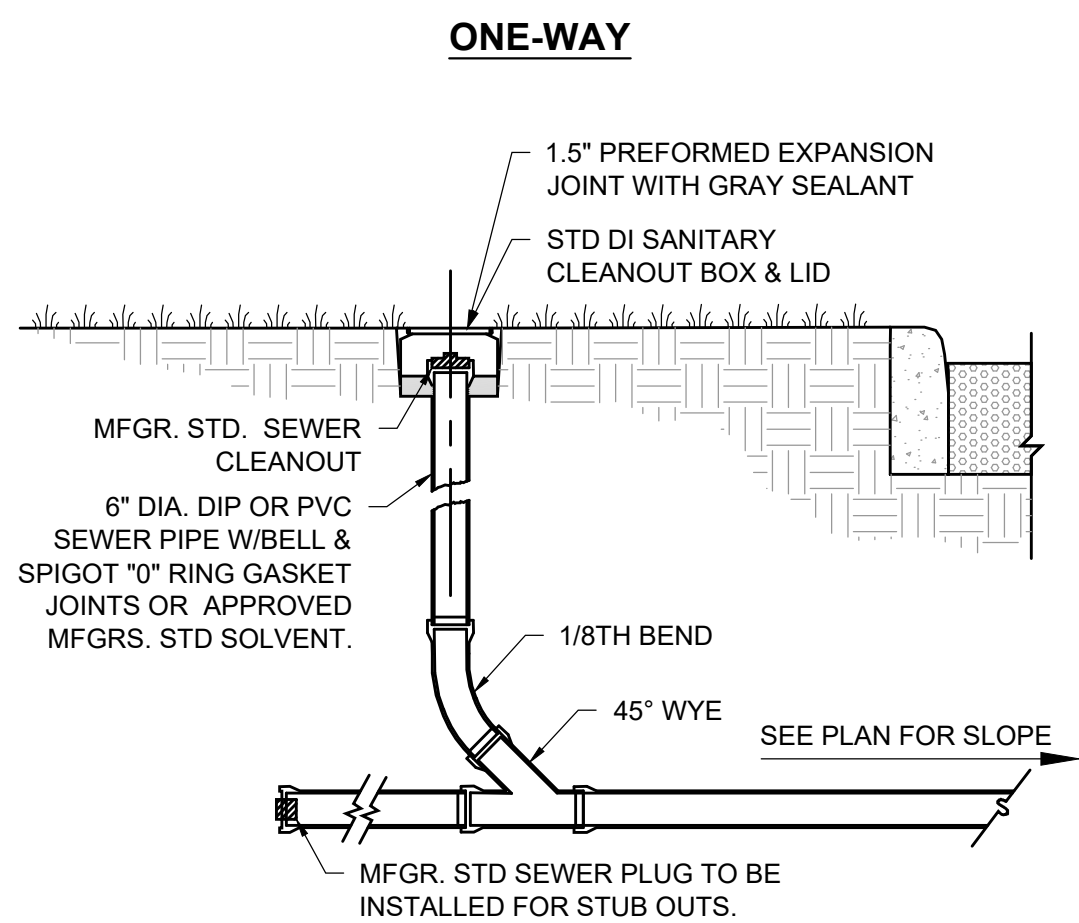
INGENIUM
INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF AUTHORITY #4560



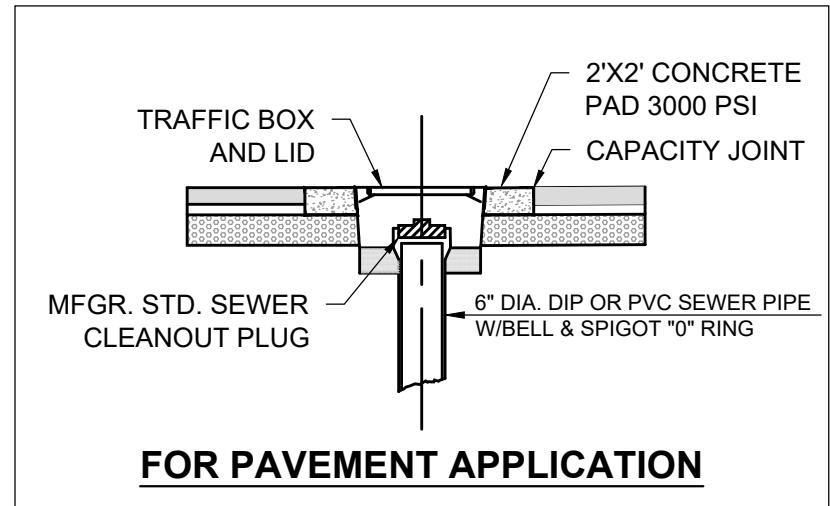
UTILITY DETAILS I



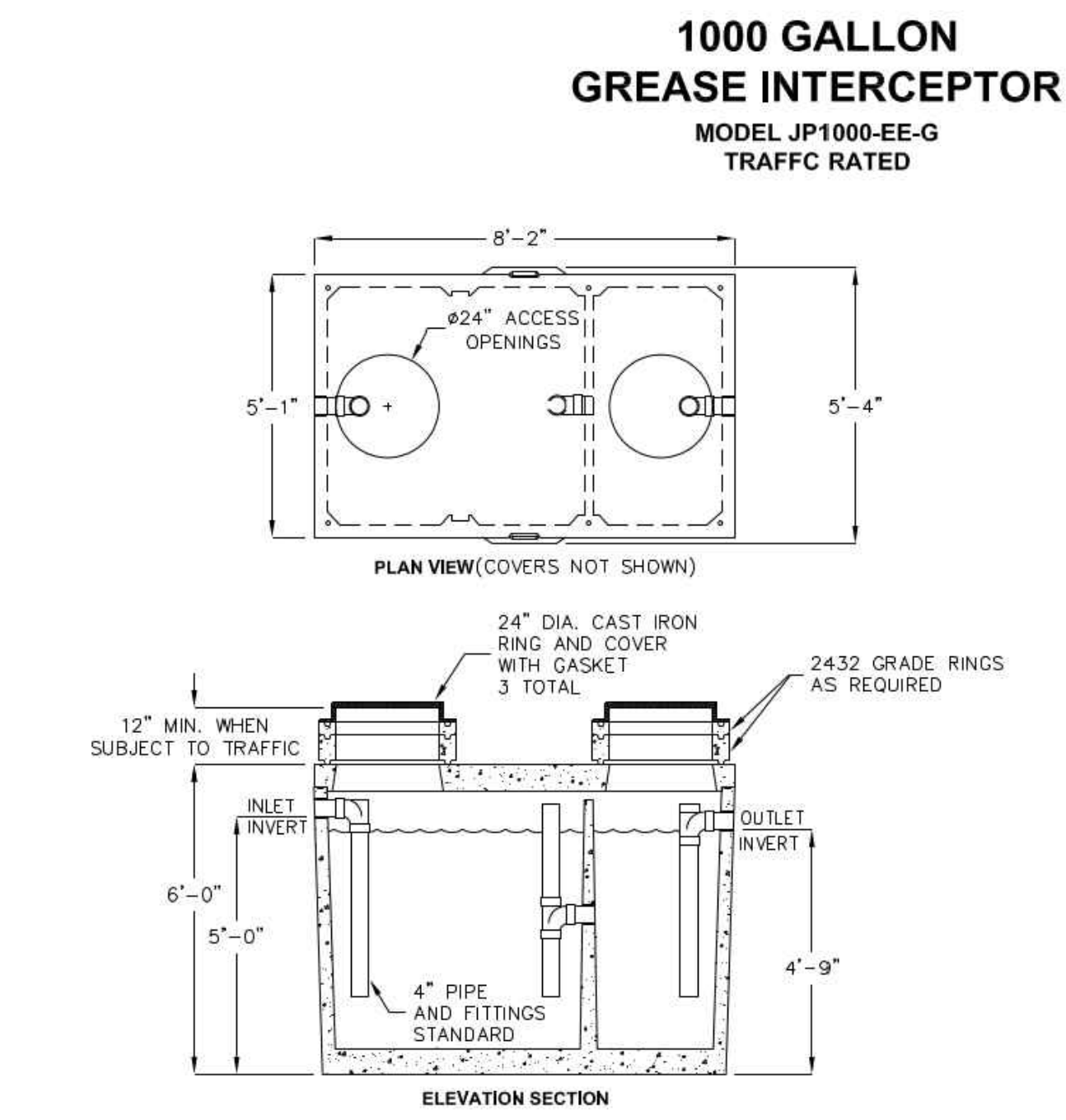
1 SANITARY BUBBLE DETAIL 1" = 10'



NOTES
1. FOR APPLICATION IN UNPAVED AREAS.
2. SEE UTILITY PLAN FOR PIPE SIZE AND MATERIAL.



2 CLEANOUT NTS



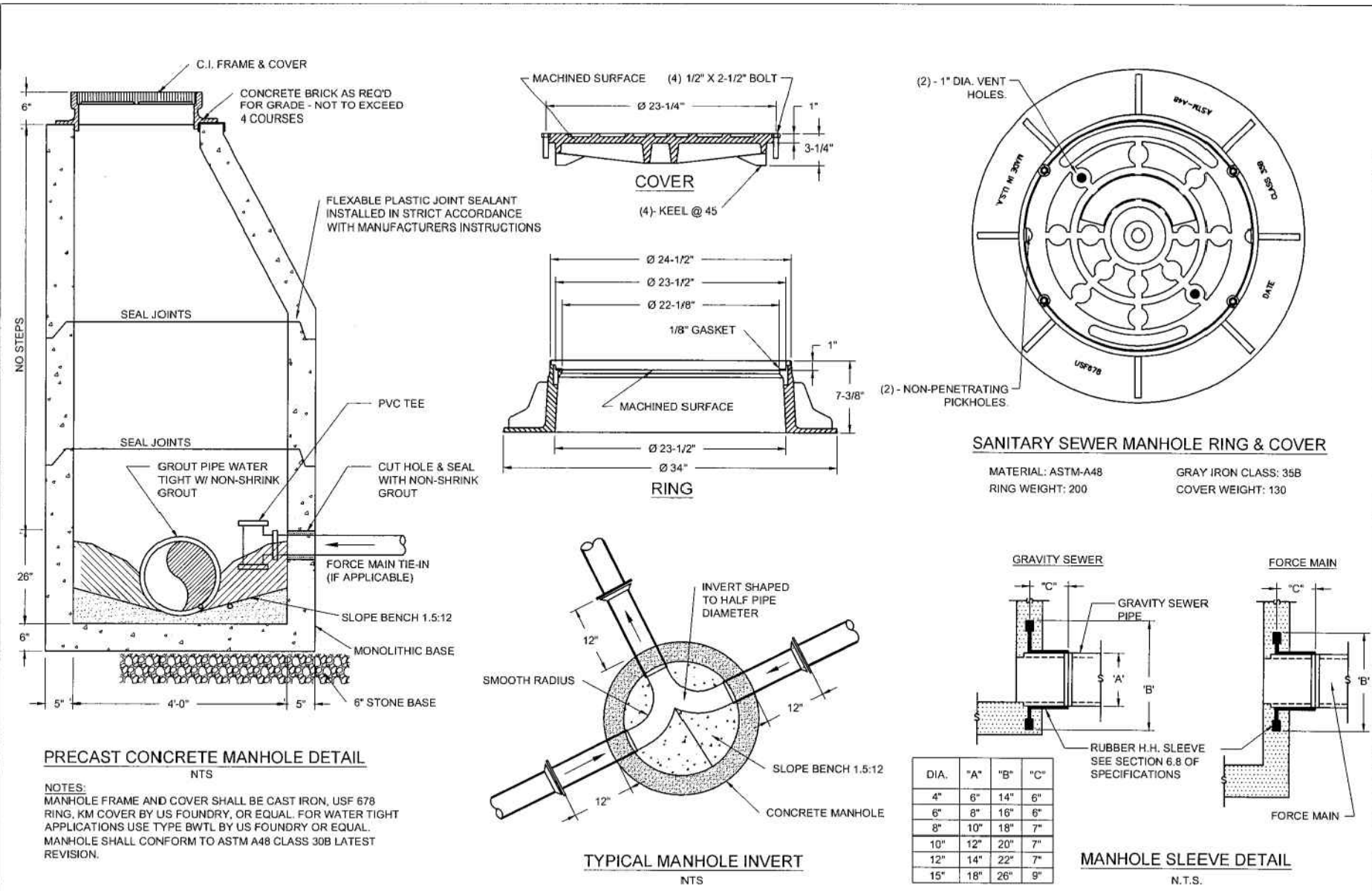
OPERATING CAPACITY: 1,000 GALLONS.
DESIGN LOAD: H-20 TRAFFIC WITH DRY SOIL CONDITIONS (WATER LEVEL BELOW TANK) AND 1 TO 6 FEET EARTH COVER.
BEDDING NOTE: SUITABLE SUB-BASE BEDDED WITH GRANULAR MATERIAL SHALL BE PREPARED TO HANDLE ANTICIPATED LOADS.
FOR COMPLETE DESIGN AND PRODUCT INFORMATION CONTACT JENSEN PRECAST.

4/21/2010
JP1000_EE_G_AZ_A.DWG
©2010

Jensen Precast reserves the right to make changes to product design and/or dimensions without notice. Please contact Jensen Precast whenever necessary for confirmation or advice on product design.

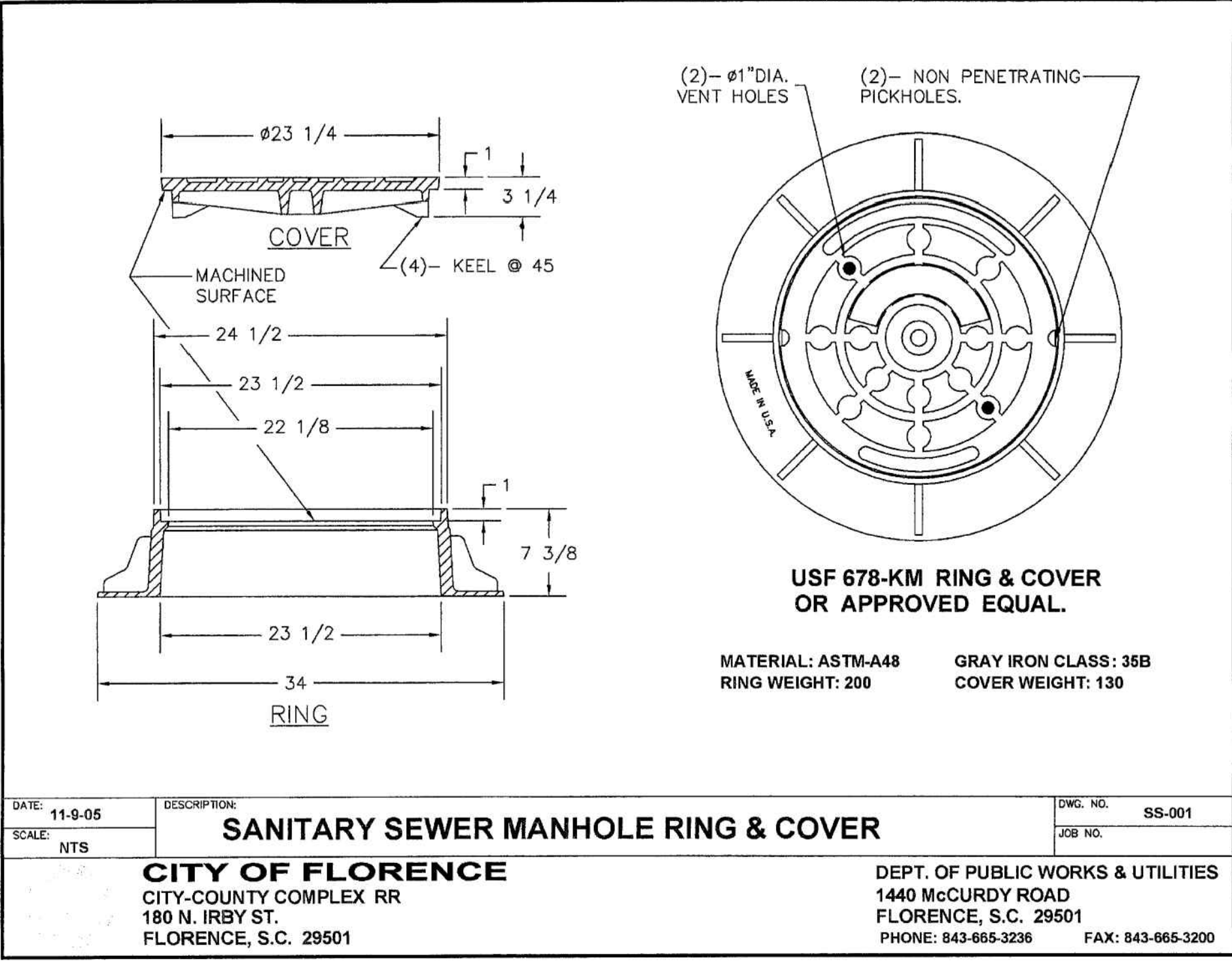
JENSEN PRECAST

3 1000 GALLON GREASE INTERCEPTOR NTS

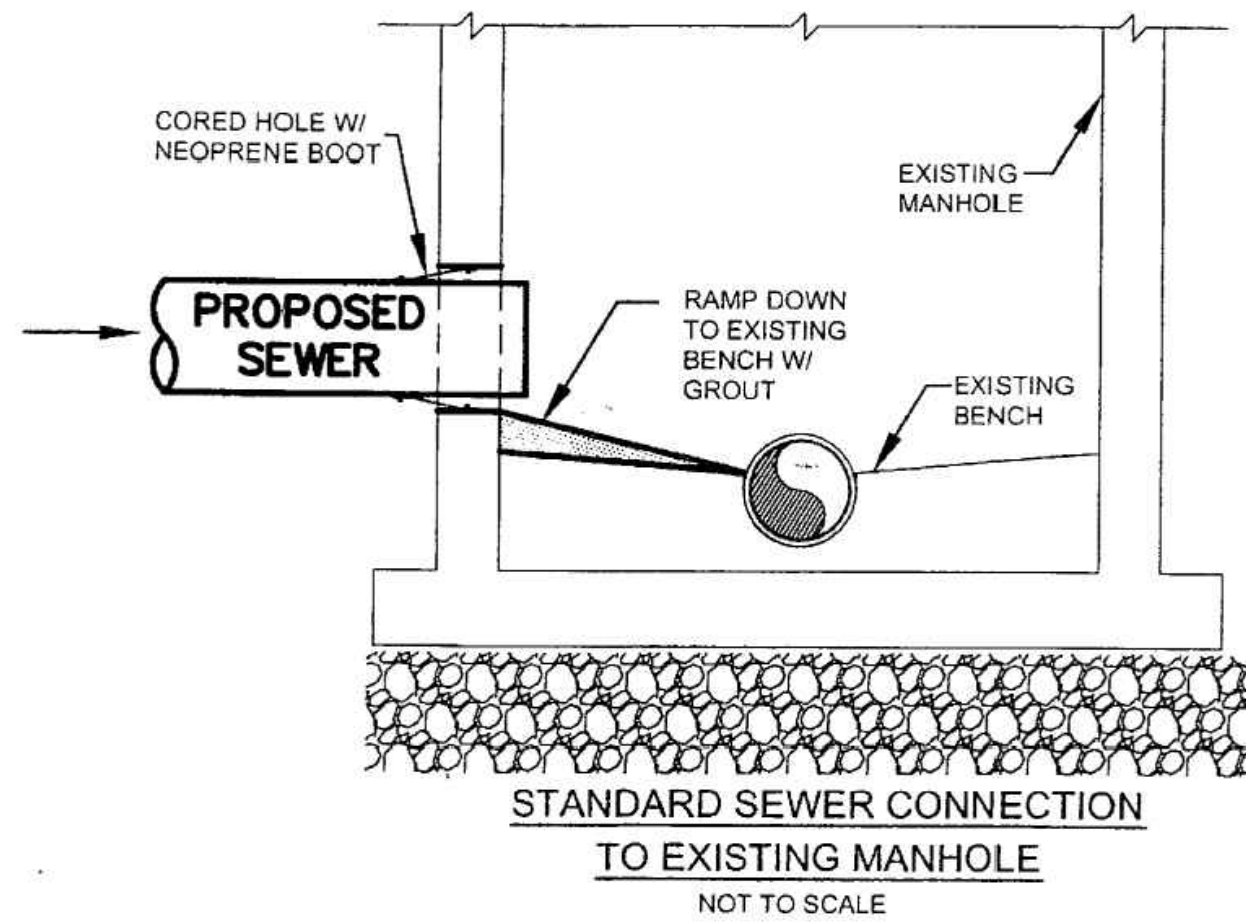


STANDARD CITY OF FLORENCE SEWER MANHOLE DETAIL NOT TO SCALE
FULL LIFE FULL FORWARD FLORENCE SOUTH CAROLINA
STANDARD CONSTRUCTION DETAILS WASTEWATER
REV. 05/31/22 DETAIL No. 11

4 SANITARY MANHOLE NTS



DATE: 11-9-05 DESCRIPTION: SANITARY SEWER MANHOLE RING & COVER
SCALE: NTS
CITY OF FLORENCE
CITY-COUNTY COMPLEX RR
180 N. IRBY ST.
FLORENCE, S.C. 29501
DEPT. OF PUBLIC WORKS & UTILITIES
1440 McCURDY ROAD
FLORENCE, S.C. 29501
PHONE: 843-665-3236 FAX: 843-665-3200
DWG. NO. SS-001
JOB NO.



5 SEWER CONNECTION TO EXISTING MANHOLE NTS



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMead, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8268

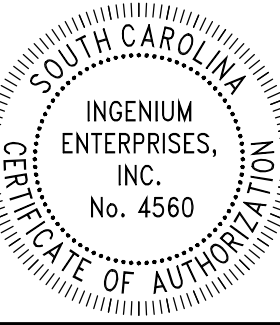
All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:
01 02/21/2024 CITY COMMENTS

ISSUE DATE:
PERMIT/BID 12/14/2023
PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA
PANDA PROJECT #: D26523
PANDA STORE #: 3877
CIVIL PROJECT #: 230013

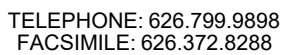
INGENIUM
INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF AUTHORITY #4560



UTILITY DETAILS II

C04.2

PANDA HOME



All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01 02/21/2024 CITY COMMENTS

ISSUE DATE:

PERMIT/BID 12/14/20

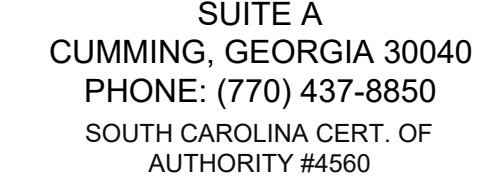
PERMIT/BID REVISION	02/21/20
---------------------	----------

DRAWN BY: DA

PANDA PROJECT #: D26523

PANDA STORE #: 3877

CIVIL PROJECT #: 230013



UTILITY DETAILS II

C04.3

PANDA HOME



CURB GRATE INLET

NTS

1



3

01 USE SHEETS 719-330-01 THROUGH 719-330-02 FOR THIS ITEM

REFERENCES

NATIONAL DOCUMENTS

SCDOT DOCUMENTS

RELATED DRAWINGS & KEYWORDS

THIS DRAWING IS ONLY VALID FOR CONSTRUCTION WHEN SEALED AND SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF SOUTH CAROLINA. CHECK WWW.SCDOT.ORG FOR LATEST UPDATE.

NO. 21242

James W. Keadell Jr.

SIGNATURE

7/29/2015

DATE

6

5

4

3

2

1

0

1/2016

050

NEW

DATE

CHK

DESCRIPTION

SCDOT

SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION

DESIGN STANDARDS OFFICE

955 PARK STREET

ROOM 405

COLUMBIA, SC 29201

STANDARD DRAWING

DRAINAGE STRUCTURE

GENERAL NOTES

719-000-01

EFFECTIVE LETING DATE

JAN. 2016

REFERENCES

NATIONAL DOCUMENTS

SCDOT DOCUMENTS

RELATED DRAWINGS & KEYWORDS

THIS DRAWING IS ONLY VALID FOR CONSTRUCTION WHEN SEALED AND SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF SOUTH CAROLINA. CHECK WWW.SCDOT.ORG FOR LATEST UPDATE.

NO. 21242

James W. Keadell Jr.

SIGNATURE

7/29/2015

DATE

6

5

4

3

2

1

0

1/2016

050

NEW

DATE

CHK

DESCRIPTION

SCDOT

SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION

DESIGN STANDARDS OFFICE

955 PARK STREET

ROOM 405

COLUMBIA, SC 29201

STANDARD DRAWING

DRAINAGE STRUCTURE

GENERAL NOTES

719-000-03

EFFECTIVE LETING DATE

JAN. 2016

SCDOT GENERAL NOTES

NTS

1.00 GENERAL NOTES

1.01 WORK ALL APPROPRIATE SHEETS TOGETHER

1.02 WHEN LOCATING DRAINAGE STRUCTURES THAT ARE IN CONFLICT WITH UTILITIES, FOUNDATIONS, RETAINING WALL COMPONENTS, GUARDRAIL POSTS, OR OTHER SUBSURFACE STRUCTURES, NOTIFY THE ENGINEER BEFORE RELOCATING EITHER CONFLICTING PART.

1.03 THIS GENERAL NOTES SECTION WILL BE IMPLEMENTED BEFORE SECTION 719 IS UPDATED, SO NOTES HERE MAY BE DUPLICATED OR IN CONFLICT WITH NOTES ON THE INDIVIDUAL DRAWING PAGES. WHEN THIS GENERAL NOTE SECTION CONFLICTS WITH EITHER THE STANDARD SPECIFICATION OR THE NOTES ON A STANDARD DRAWING WITHIN THE 719 SECTION, NOTES IN THIS SECTION SHOULD BE USED. ENGINEER MAY OVERRULE THIS METHOD IF SUFFICIENT JUSTIFICATION IS PROVIDED THAT THE OTHER NOTE IS APPROPRIATE FOR THE SITE.

1.04 FOLLOW ALL OSHA REGULATIONS INCLUDING LIFTING AND TRENCH REQUIREMENTS.

5.00 MATERIALS

5.01 USE CLASS 4000P OR HIGHER PRECAST CONCRETE COMPONENTS AS INDICATED ON THE STANDARD DRAWING FROM A SINGLE SOURCE FOR EACH DRAINAGE STRUCTURE LOCATION.

5.02 USE CLASS 4000 OR HIGHER CAST-IN PLACE CONCRETE AS INDICATED ON THE STANDARD DRAWING.

5.03 USE ASTM A706 GRADE 60 DEFORMED BARS OR AASHTO M 55 OR M 221 WIRE MESH FOR REINFORCEMENT STEEL.

5.04 USE 2500 PSI OR HIGHER MASONRY UNITS CONFORMING TO ASTM C 55 GRADE S-II FOR CONCRETE BRICK, ASTM C 139 FOR SOLID CONCRETE BLOCK (NO LARGER THAN 4X8X16), OR AASHTO M 114 GRADE SW FOR CLAY BRICK.

5.05 USE TYPE S OR M MORTAR FOR MASONRY CONSTRUCTION

5.06 USE ONLY NON-SHRINK GROUT.

5.07 USE EITHER GRAY IRON (AASHTO M 105 CLASS 35B) OR DUCTILE IRON (ASTM A 536) CASTINGS TESTED IN ACCORDANCE WITH AASHTO M 306 FOR 40 KIP PROOF LOAD (HEAVY DUTY) OR 25 KIP PROOF LOAD (LIGHT DUTY MANHOLE COVER ONLY).

5.08 CORROSION PROTECTED STEEL RISERS, FRAMES, AND GRATES MAY BE USED WHERE REQUIRED AS LONG AS THEY MEET AASHTO M 306 PROOF LOAD OF 40 KIP (HEAVY DUTY), AND ARE PROTECTED FROM CORROSION WITH GALVANIZING, SUPER DURABLE POWDER COATING, OR AT LEAST 3 COATS OF EPOXY PAINT OR COLD GALVANIZING COMPOUND ON ALL SURFACES. STEEL GRATES MUST BE BOLT-DOWN FOR ALL LOCATIONS SUBJECT TO TRAFFIC.

5.09 USE A NONWOVEN GEOTEXTILE FOR DRAINAGE FILTRATION TO WRAP RISER JOINTS.

5.10 USE AT LEAST 6" THICK PRECAST WALLS, OR 8" THICK BRICK MASONRY WALLS. USE THICKER WALLS WHEN REQUIRED BY THE STANDARD DRAWING, INDUSTRY STANDARDS, OR CUSTOM DESIGN REQUIREMENTS.

5.11 PROVIDE FOUNDATION MATERIALS, BEDDING MATERIALS, GEOTEXTILE WRAP, AND GEOGRID IMPROVED FOUNDATION MATERIAL IN CONFORMANCE WITH SC-M-714 OR SECTION 714 OF THE STANDARD DRAWINGS.

10.00 REFERENCES

10.01 QPL 14 PRECAST DRAINAGE STRUCTURES

10.02 QPL 28 READY MIX CONCRETE PLANTS

10.03 QPL 30, 68, 69 PIPE CULVERTS

10.04 QPL 45 STEEL FRAMES, GRATES, AND RISERS FOR DRAINAGE STRUCTURES

10.05 QPL 45 CAST IRON FRAMES, GRATES, AND RISERS FOR DRAINAGE STRUCTURES (WHEN AVAILABLE)

10.06 QPL 48 SURFACE ADJUSTMENT RISERS FOR DRAINAGE STRUCTURES (UNLESS MERGED INTO QPL 45)

10.07 QPL 60 REINFORCING STEEL

15.00 LIMITATIONS

15.01 DO NOT CONSTRUCT PRECAST KNOCKOUT BOXES DEEPER THAN THE BOX HEIGHT PLUS 30". DO NOT USE RISERS OR TRANSITION SLABS WITH KNOCKOUT BOXES. INLET ADAPTER SLABS MAY ONLY BE USED IF INLET STRUCTURE AND INLET ADAPTER SLAB FIT WITHIN THE 30" LIMITATION.

15.02 DO NOT USE BRICK MASONRY WALLS WHEN THE FLOW LINE OF ANY INLET PIPE IS HIGHER THAN 4 FEET ABOVE THE BOTTOM SLAB OR TRANSITION SLAB AT THE BASE OF THE MASONRY WITHOUT WRITTEN APPROVAL FROM THE DEPARTMENT [SCOUR ON MORTAR].

15.03 DO NOT CONSTRUCT BRICK MASONRY DRAINAGE STRUCTURES DEEPER THAN 12". BRICK MASONRY EXTENSIONS MAY BE BUILT ON TOP OF INLET ADAPTER SLABS WHEN THE EXTENDED PORTION IS NO DEEPER THAN 12" AND THE STRUCTURE BELOW IS PRECAST. GROUT FILLER WITH BRICK SHIMS MAY BE USED DEEPER THAN 12" TO PATCH PREFORMED HOLES IN PRECAST STRUCTURES ONLY AROUND PIPE CONNECTIONS. OVERALL THICKNESS OF GROUT FILLER AT THESE LOCATIONS SHOULD BE AT LEAST 1/12 THE BURY DEPTH OF THE FILLER (IE. AT LEAST 20" THICK FOR 20' OF COVER). DO NOT USE GROUT OR BRICK MASONRY FILLER AS A REPLACEMENT FOR PRECAST REQUIREMENTS AT THESE DEPTHS.

15.04 DO NOT CONSTRUCT STANDARD SOLID WALL PRECAST DRAINAGE STRUCTURES (CIRCULAR OR RECTANGULAR) DEEPER THAN 35" (ASSUMES 30" MAX PIPE COVER + 48" PIPE + BOTTOM SLAB & PIPE WALL).

15.05 FOR DRAINAGE STRUCTURES (AS WITH PIPE CULVERTS), WHEN THE OVERALL DEPTH EXCEEDS 30", USE A CUSTOM DESIGNED STRUCTURE AS SHOWN IN THE PROJECT PLANS OR PROVIDE A CUSTOM DESIGNED STRUCTURE WHEN NOT PROVIDED IN THE PROJECT PLANS.

15.06 SEE DRAINAGE STRUCTURE PARTS SHEETS FOR MISCELLANEOUS PARTS TO CREATE MORE SITE-SPECIFIC ASSEMBLIES.

15.07 SEE PROJECT PLANS FOR NON-STANDARD CATCH BASIN DETAILS.

15.08 CONSTRUCT BRICK MASONRY STRUCTURES ONLY AS SQUARE, CIRCULAR, OR RECTANGULAR WITH VERTICAL WALLS. DO NOT TAPER, CORBEL, OR VARY THE RUNNING BOND BRICK LAY PATTERN. MINIMUM DIAMETER OF CIRCULAR BRICK STRUCTURES IS 4 FEET. FOR ALL BRICK STRUCTURE TYPES, USE EITHER PRECAST TOP SLAB, TRANSITION SLAB, OR A CAST IRON FRAME DESIGNED TO SIT DIRECTLY ON BRICK WALLS.

15.09 USE NO MORE THAN ONE TRANSITION SLAB AND ONE INLET ADAPTER SLAB IN A SINGLE STRUCTURE. WHEN A LARGER BOX IS REQUIRED TO ACCOMMODATE LARGER OR MULTIPLE PIPE, ONE TRANSITION SLAB MAY BE USED TO ADJUST THE LARGER LOWER BOX TO THE STANDARD UPPER BOX CONSTRUCTED FOR THE DRAINAGE STRUCTURE. AN ADDITIONAL INLET ADAPTER SLAB MAY BE USED WHEN THE CASTING OR THROAT REQUIRES THE USE OF THIS PIECE. LOCATE TRANSITION AND INLET ADAPTER SLABS AT LEAST 8 INCHES AWAY FROM HOLES FOR PIPE.

45.00 PIPE CONNECTIONS AND GROUTING

45.01 PROJECT PIPE THROUGH THE INSIDE FACE OF THE BOX (AND FIELD CUT IF NECESSARY) 1" (+/- 1/4") BEYOND THE INSIDE FACE WHEN MEASURED AT THE SPRINGLINE OF THE PIPE. THIS FINISHED PROJECTION IS REFERRED TO AS "FLUSH" IN THIS AND OTHER SPECIFICATIONS, AND IS PREFERRED TO GET A PROPER SEAL AROUND THE PIPE. NOTE THAT PIPE ENTERING THROUGH THE CORNER OF A BOX OR THROUGH CIRCULAR DRAINAGE BASES WILL PROJECT FURTHER IF MEASURED AT THE TOP AND BOTTOM OF THE PIPE, AND THAT THIS ADDITIONAL PROJECTION SHOULD BE FULLY GROUTED TO MINIMIZE DEBRIS SNAG POINTS.

45.02 SKEWED PIPE MAY BE REQUIRED TO EXTEND FURTHER INTO PIPE TO FACILITATE THE FLUSH CUT. FLUSH CUT EACH SKEWED PIPE TO FACILITATE THE PROJECTION AND FLUSH CUTTING OF ANY OTHER SKEWED PIPE INSIDE THE BOX.

45.03 FULLY GROUT THE PERIMETER OF THE PIPE TO FILL THE BOX WALL OPENING. PERFORM THIS GROUTING AS SOON AS ALL PIPE ARE INSTALLED WITHIN THE BOX OR WHEN DIRECTED BY THE ENGINEER (TYPICALLY PRIOR TO A PREDICTED RAIN EVENT TO PREVENT TRENCH MATERIAL FROM CLOGGING THE BOX WALL OPENING.) IN THE EVENT THAT DEBRIS HAS ENTERED THE BOX WALL OPENING, PRESSURE WASH THIS AREA FROM THE INSIDE OF THE BOX TO REMOVE FOREIGN MATTER PRIOR TO GROUTING.

45.04 ON THE INSIDE FACE OF THE BOX, BEVEL THE GROUT THE FULL AMOUNT OF EACH PIPE PROJECTION AND TO FULLY COVER THE BOX WALL OPENING WITH 1" OVERLAP. ON THE OUTSIDE FACE OF THE BOX, PACK GROUT UNDER THE PIPE TO FILL ANY GAPS IN THE PIPE BEDDING/FOUNDATION DIRECTLY AT THE BOX AND BEVEL GROUT AROUND THE PERIMETER OF THE PIPE TO FULLY COVER THE BOX WALL OPENING WITH 1" OVERLAP.

45.05 WHEN TWO PIPES INSIDE THE BOX ARE WITHIN 3" OF EACH OTHER, GROUT THE FULL AREA BETWEEN THE PIPES TO CREATE A NEW INSIDE BOX WALL OR CORNER TO MINIMIZE DEBRIS SNAG POINTS.

45.06 GROUT OR MORTAR THE ENTIRE FLOOR OF THE BOX UP TO THE INVERT ELEVATION OF THE LOWEST OUTLET PIPE. SLOPE THE FLOOR GROUT IN ALL DIRECTIONS TOWARDS THE OUTLET PIPE BETWEEN 2% AND 8%, BUT DO NOT COVER THE INVERT OF ANY OTHER PIPE WITHIN THE BOX. IN A BOX WHERE INLET AND OUTLET FLOW LINES ARE EQUAL, CONSTRUCT A SLIGHT TROUGH IN THE FLOOR GROUT WITH THE LOW POINT IN THE GROUT MATCHING THE FLOW LINE. PLACE FLOOR GROUTING PRIOR TO SETTING TRANSITION SLABS, INLET ADAPTERS, OR INLET STRUCTURES.

50.00 BOX, RISER, TRANSITIONS, INLET ADAPTERS AND INLET JOINTS

50.01 CONSTRUCT KEYED OR LAPPED JOINTS FOR ALL PRECAST SOLID WALL BOX AND RISER SECTIONS EXCEPT WHEN JOINT ATTACHES TO A FLAT ADAPTER SLAB OR BRICK CONSTRUCTION.

50.02 CONSTRUCT TRANSITION OR INLET ADAPTER SLABS WITH JOINT DETAIL TO MATCH RISER OR BOX ABOVE AND BELOW, OR CONSTRUCT THE SLAB FLAT AND GROUT THE INTERFACE BETWEEN THE BOX/RISERS AND THE SLAB WITH A 1/2" LIFT OF NON-SHRINK GROUT.

50.03 DO NOT USE JOINT SEALANT IN KEYED OR LAPPED BOX/RISER JOINTS UNLESS SPECIFIED BY THE PRECAST MANUFACTURER.

50.04 FOR BOXES DEEPER THAN 12" WRAP THE EXTERIOR OF THE BOX (FULL HEIGHT OF STRUCTURE) WITH NONWOVEN GEOTEXTILE FOR DRAINAGE FILTRATION TO PREVENT THE MOVEMENT OF SOIL THROUGH THE JOINTS. TAPE THE GEOTEXTILE TO THE BOX WALL/ITSELF USING WEATHERPROOF TAPE AND A 1 FOOT OVERLAP PRIOR TO BACKFILLING AROUND THE BOX. ALTERNATELY, TAPE 1 FOOT WIDE STRIPS OF NONWOVEN GEOTEXTILE AROUND THE ENTIRE PERIMETER OF THE BOX AT EACH RISER JOINT (FULL HEIGHT OF STRUCTURE). IF THE PLANS INDICATE THAT GROUNDWATER WILL NOT BE PRESENT AT THE 12" OR DEEPER DRAINAGE STRUCTURE, SEAL THE EXTERIOR JOINTS WITH COLD APPLIED WATERPROOFING OR JOINT TAPE PRIOR TO BACKFILLING. [FILTERED WEEPING THROUGH THE RISER JOINTS IS PREFERRED WHEN THE STRUCTURE IS DEEP AND GROUNDWATER IS PRESENT TO MINIMIZE BUOYANCY EFFECTS.]

50.05 FOR CAST OR STEEL FRAMES PLACED DIRECTLY ON BRICK OR CONCRETE, USE EITHER A NON-SHRINK GROUT LIFT OR A PREFABRICATED RISER/GASKET SPECIFICALLY MADE FOR THIS INTERFACE. FOLLOW THE MANUFACTURER'S INSTALLATION INSTRUCTIONS WHEN USING PREFABRICATED RISER/GASKET SECTIONS BELOW THE FRAME. ALIGN FRAME PARALLEL TO THE PAVEMENT SURFACE (IF APPLICABLE) SO THAT FINISHED GRADE ELEVATION SITS FLUSH WITH (UP TO 1/2" BELOW) SURFACE COURSE.

50.06 COMPLETELY REMOVE LIFTING DEVICES FROM TOP SLABS, AND ALL SLABS WHERE A WORKER WILL STAND. CLOSE ANY RECESSES OR LIFT HOLE IN SLABS THAT FORM THE SIDEWALK SURFACE WITH GROUT. FOR BELOW GRADE HOLES LESS THAN 3.05" DIAMETER, GROUT, PLUG, OR COVER WITH TAPED GEOTEXTILE PRIOR TO BACKFILLING.

55.00 BACKFILLING

55.01 USE PIPE SELECT BACKFILL AND COMPACTION METHODS DESCRIBED IN SC-M-714 FOR SOIL AROUND THE ENTIRE PERIMETER OF THE BOX WITHIN EACH PIPE EMBEDMENT ZONE AND THE TRENCH EXCAVATION CREATED TO INSTALL THE BOX AND PIPE(S). WHEN WRAPPING THE PIPE STRUCTURAL BACKFILL, CONTINUE THE WRAPPING DETAIL UNDER AND AROUND THE DRAINAGE STRUCTURE.

55.02 BETWEEN PIPE EMBEDMENT ZONES, USE SOIL MEETING THE EMBANKMENT SPECIFICATION AROUND THE BOX. IF THE ENTIRE DRAINAGE SYSTEM (BOXES, PIPE, ETC.) IS INSTALLED IN A TRENCH, USE PIPE SELECT BACKFILL AROUND THE DRAINAGE STRUCTURE TO FACILITATE PROPER COMPACTION WITHIN THE TRENCH.

55.03 USE COMPACTION EQUIPMENT LESS THAN 3 TONS FOR COMPACTING PIPE SELECT BACKFILL AND EMBANKMENT SOILS WHEN WITHIN 3 FEET OF DRAINAGE STRUCTURE WALLS. USE SYMMETRICAL LIFTS AND COMPACTION METHODS THAT DO NOT PUSH THE DRAINAGE STRUCTURE OUT OF PLUMB TOLERANCE.

55.04 USE ONLY FLOWABLE FILL BACKFILL AROUND PIPE CULVERT AND DRAINAGE BOXES WHEN THE PIPE TRENCH IS WITHIN 2 PIPE DIAMETERS OF THE LOWER SIDE OF A RETAINING WALL STEM OR WHEN DIRECTED BY THE ENGINEER.

55.05 USE ONLY COARSE AGGREGATE BACKFILL AROUND PIPE CULVERT AND DRAINAGE BOXES WHEN THE PIPE TRENCH IS WITHIN 2 PIPE DIAMETERS OF THE HIGHER SIDE OF A RETAINING WALL STEM. TIE THE PIPE STRUCTURAL BACKFILL INTO THE WEEP SYSTEM FOR THE WALL WHERE APPLICABLE.

55.06 DO NOT EXCEED A 4' LIFT OF FLOWABLE FILL IN A SINGLE POUR AROUND A DRAINAGE STRUCTURE.

20.00 PEDESTRIAN, BICYCLE, CONTROLLED ACCESS, AND TRAFFIC

20.01 WITHIN THE PEDESTRIAN ACCESS ROUTE (SIDEWALKS, CROSSWALKS, ACCESSIBLE PARKING, ETC.) USE ONLY DRAINAGE SYSTEMS DESIGNATED AS ADA COMPLIANT.

20.02 LOCATE PRECAST SLABS AND CAST IRON PIECES OUTSIDE OF SLOPED PORTIONS OF PEDESTRIAN RAMPS.

20.03 LOCATE BICYCLE RATED GRATES OUTSIDE OF THE PEDESTRIAN ACCESS ROUTE. SET BICYCLE RATED GRATES FLUSH TO WITHIN +0" TO -1/4" OF ADJACENT PAVEMENT GRADE OR FLUSH TO WITHIN +0" TO -1" OF ADJACENT SOIL FOR NON-PAVED LOCATIONS.

20.04 INSTALL CONTROLLED ACCESS STRUCTURES ONLY IN LOCATIONS WERE PEDESTRIANS AND BICYCLES ARE PROHIBITED (TYPICALLY INTERSTATE). DO NOT INSTALL THESE STRUCTURES WITHIN 200 FEET OF RAMP CONNECTIONS TO NON-INTERSTATE ROUTES.

20.05 WHERE PRACTICAL, LIMIT THE PLACEMENT OF DRAINAGE STRUCTURES WITHIN TRAVEL LANES. WHEN DRAINAGE STRUCTURE IS REQUIRED, USE ONLY A HEAVY DUTY RATED SYSTEM WITHIN PAVEMENT, GUTTER OR DRIVEWAYS.

25.00 ACCESS

25.01 PROVIDE STEPS (719-5XX-XX) IN ALL DRAINAGE STRUCTURES DEEPER THAN 54". LOCATE STEPS WITHIN REASONABLE PROXIMITY TO ACCESS POINT (MANHOLE OR GRATE OPENING) WITHOUT INTERFERING WITH PIPE ORIENTATIONS.

25.02 WHERE PRACTICAL, ALIGN BOX WALL WITH STEPS WITHIN 6" OF HOLES IN INLET ADAPTER AND TRANSITION SLAB. WHERE PRACTICAL, ALIGN ALL ACCESS HOLES VERTICALLY AND OF THE SAME SIZE AND SHAPE AS THE UPPER ACCESS POINT. IF STANDARD INLET ADAPTER OR TRANSITION SLAB RESTRICTS OPENING GEOMETRY, ALIGN THE STANDARD OPENING TO MAXIMIZE WORKER ACCESS.

25.03 WHEN OPENINGS ARE NOT ALIGNED, PROVIDE ENOUGH VERTICAL SEPARATION BETWEEN SLABS TO FACILITATE MANEUVERING TO OTHER ACCESS HOLE AND FEEDING CLEANOUT EQUIPMENT THROUGH LOWER HOLE (TYPICALLY 7" VERTICAL). IN THIS CASE, PROVIDE A SECOND LADDER RUN THAT EXTENDS FROM THE BOTTOM SLAB TO AT LEAST 3 FEET ABOVE THE TRANSITION SLAB AND IS LOCATED ON THE CLOSEST WALL TO THE TRANSITION SLAB OPENING.

30.00 PRECAST FABRICATION

30.01 PROVIDE STEPS INDICATED IN THE ACCESS SECTION.

30.02 WHERE LIFTING DEVICES ARE REQUIRED, PROVIDE LIFT HOLES NO LARGER THAN 3.05" DIAMETER OR STEEL LUGS OR HOOKS THAT ARE FULLY RECESSED BELOW THE SURFACE, OR CAN BE CUT OFF BELOW THE SURFACE BEFORE GROUTING CLOSED.

30.03 FABRICATE SLAB WITH A BROOMED TOP SURFACE FINISH AND FABRICATE FLAT UNLESS KEYED OR LAP JOINTED DETAIL IS ORDERED BY THE CONTRACTOR.

30.04 FABRICATE PRECAST SLABS WITH SYMMETRICAL REINFORCEMENT OR PROVIDE LIFTING LUGS AND MARKINGS INDICATING TOP SIDE OF SLAB.

30.05 WHERE STANDARD REQUIRES EMBEDMENT OF A CAST IRON OR STEEL FRAME, USE ONLY FRAMES FROM A QUALIFIED SOURCE, AND EMBED INTO PRECAST PART IN ACCORDANCE WITH INDUSTRY STANDARDS. WHEN FRAME IS EMBEDDED, SUPPLY CORRESPONDING CAST IRON OR STEEL RISERS, GRATES, OR COVERS FROM THE SAME FOUNDRY AS THE FRAME EMBEDDED IN THE PRECAST PIECE. CONFIRM FULL CONTACT BETWEEN THE GRATE, RISERS, AND FRAME BEFORE POURING THE PIECE. AFTER FABRICATION, THOROUGHLY CLEAN THE SEAT AND EDGE TO REMOVE ANY CONCRETE FROM THE PRECAST OPERATION. CONFIRM PROPER SEATING OF CAST IRON PARTS BEFORE SHIPPING ASSEMBLY.

30.06 INCLUDE FABRICATION MARKINGS ON EACH PIECE THAT IDENTIFY MANUFACTURER NAME AND DATE, APPLICABLE SCDOT OR ASTM SPECIFICATION, SIZE, AND MAXIMUM BURY DEPTH. LOCATE MARKINGS ON EXTERIOR WALLS OR ON TOP OF SLABS FOR ALL PARTS EXCEPT SURFACE SLABS USED IN SIDEWALK.

30.07 FABRICATE KNOCKOUT BOXES WITH FLAT JOINTS AT THE TOP OR WITH A FULLY GROUTED KEY JOINT. RISERS (719-310-00 DETAIL 1) ARE NOT ALLOWED ABOVE KNOCKOUT BOXES. IF A GROUTED KEY JOINT IS PROVIDED, MANUFACTURER MUST DETAIL THE FULL HEIGHT OF THE KEY TO EXTEND ABOVE THE 6" MINIMUM TOP BEAM HEIGHT ON THE BOX AND FULLY GROUT THE KEY EITHER IN THE PLANT OR IN THE FIELD PRIOR TO INSTALLATION OF THE UPPER STRUCTURE. DO NOT LEAVE AIR POCKETS IN GROUTED PORTIONS OF TOP KEY TO ENSURE FULL CONTACT BETWEEN THE KNOCKOUT BOX TOP BEAM AND THE UPPER STRUCTURE.

30.08 DO NOT EXTEND REINFORCING STEEL THROUGH KNOCKOUT PORTION OF THE BOX WALLS.

30.09 MAXIMUM KNOCKOUT PANEL HEIGHT IS 5 FEET. MAXIMUM KNOCKOUT BOX BURY DEPTH (D) FROM TOP OF SIDEWALK EQUALS H + 2.5 FEET COVER FROM FINISHED GRADE TO TOP OF BOTTOM SLAB, NO EXCEPTIONS. H2 >= D4.5', H2.5' >= D5', H3 >= D5.5', H4 >= D6.5', H5 >= D7.5', & H6 >= D8.5' (MAX).

30.10 WHEN EXTENDING KNOCKOUT BOX HEIGHT (719-310-00 NOTE 14) FOR INLET WALLS, USE ONLY THE FULL 6" WALL THICKNESS AND REINFORCE THE EXTENDED PORTION CONSISTENT WITH A SOLID WALL RISER SECTION (719-315-00) OF EQUAL SIZE.

30.11 REQUESTS FOR ALTERATIONS TO DESIGN LIMITS SHOW IN THE STANDARD DRAWING MUST INCLUDE SHOP DRAWINGS AND STRUCTURAL DESIGN CALCULATIONS SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN SOUTH CAROLINA FOR REVIEW PRIOR TO FABRICATION FOR EACH VARIATION.

35.00 CAST IRON & STEEL FABRICATION

35.01 FABRICATE ALL STEEL AND IRON COMPONENTS IN ACCORDANCE WITH SECTION 106.11 OF THE STANDARD SPECIFICATIONS.

35.02 ENSURE FULL CONTACT BETWEEN GRATE, RISER, AND FRAME SEATS. MACHINE SURFACES WHEN NECESSARY TO ACHIEVE EVEN CONTACT.

35.03 IN ADDITION TO STANDARD FOUNDRY MARKINGS, MARK ALL PIECES WITH "DUMP NO WASTE" AND "DRAINS TO WATERSIDE", WHERE SPACE PERMITS, ALSO INCLUDE SCDOT LOGO AND ANY OTHER PATTERN INDICATED ON THE INDIVIDUAL CASTING SHEET.

35.04 WHERE SHOWN, PROVIDE A CAGED NUT BOLT DOWN DETAIL USING A STANDARD HEX-HEAD BOLT.

40.00 FOUNDATION, BASE & BOTTOM SLABS

40.01 WHEN THE PROJECT PLANS SPECIFY IMPROVED FOUNDATION FOR PIPE, EXTEND THIS UNDERCUT AND IMPROVED PROCEDURE THROUGH AND UNDER THE FOOTPRINT OF THE BASE SLAB OF THE DRAINAGE STRUCTURE.

40.02 USE THE SAME FOUNDATION AND BEDDING DETAIL ESTABLISHED FOR THE PIPE CULVERTS (SEE STANDARD DRAWING SECTION 714).

40.03 WHEN CONSTRUCTING THE ENTIRE WALL SYSTEM OF THE DRAINAGE STRUCTURE FROM BRICK MASONRY, CONSTRUCT A REINFORCED CONCRETE BASE SLAB MEETING THE THICKNESS AND REINFORCEMENT SHOWN FOR THE SAME SIZE PRECAST RECTANGULAR BOX (719-3XX-XX). A PRECAST BASE SLAB MAY ALSO BE USED FOR THE BOTTOM OF BRICK MASONRY BOXES. THE LENGTH AND WIDTH OF THE SLAB MAY BE INCREASED AS REQUIRED TO FACILITATE THE MASONRY CONSTRUCTION. LEVEL THE BASE SLAB BEFORE CONSTRUCTING BOX WALLS.

40.04 FOR SITES WHERE A CUSTOM PIPE FOUNDATION IS REQUIRED, CONSTRUCT A CUSTOM DRAINAGE STRUCTURE FOUNDATION AS SPECIFIED IN THE PLANS OR SPECIAL PROVISION.

40.05 SET AND LEVEL BASE SECTION OR BOTTOM SLAB SO THAT WALLS ARE CONSTRUCTED WITHIN 1 DEGREE OF PLUMB PRIOR TO BACKFILLING (NO MORE THAN 6" HORIZONTAL OVER 30' VERTICAL). ALL ADJUSTMENTS REQUIRED TO MEET SURFACE SLOPES SHOULD OCCUR WITHIN 2 FEET OF THE FINISHED GRADE.

REFERENCES

NATIONAL DOCUMENTS

SCDOT DOCUMENTS

RELATED DRAWINGS & KEYWORDS

THIS DRAWING IS ONLY VALID FOR CONSTRUCTION WHEN SEALED AND SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF SOUTH CAROLINA. CHECK WWW.SCDOT.ORG FOR LATEST UPDATE.

NO. 21242

James W. Keadell Jr.

SIGNATURE

7/29/2015

DATE

6

5

4

3

2

1

0

1/2016

050

NEW

DATE

CHK

DESCRIPTION

SCDOT

SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION

DESIGN STANDARDS OFFICE

955 PARK STREET

ROOM 405

COLUMBIA, SC 29201

STANDARD DRAWING

DRAINAGE STRUCTURE

GENERAL NOTES

719-000-02

EFFECTIVE LETING DATE

JAN. 2016

REFERENCES

NATIONAL DOCUMENTS

SCDOT DOCUMENTS

RELATED DRAWINGS & KEYWORDS

THIS DRAWING IS ONLY VALID FOR CONSTRUCTION WHEN SEALED AND SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF SOUTH CAROLINA. CHECK WWW.SCDOT.ORG FOR LATEST UPDATE.

NO. 21242

James W. Keadell Jr.

SIGNATURE

7/29/2015

DATE

6

5

4

3

2

1

0

1/2016

050

NEW

DATE

CHK

DESCRIPTION

SCDOT

SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION

DESIGN STANDARDS OFFICE

955 PARK STREET

ROOM 405

COLUMBIA, SC 29201

STANDARD DRAWING

DRAINAGE STRUCTURE

GENERAL NOTES

719-000-04

EFFECTIVE LETING DATE

JAN. 2016



PANDA EXPRESS, INC.

1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770

TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8268

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01 02/21/2024 CITY COMMENTS

ISSUE DATE:

PERMIT/BID 12/14/2023
PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA

PANDA PROJECT #: D26523

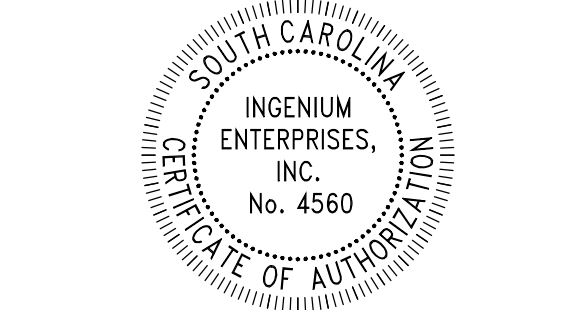
PANDA STORE #: 3877

CIVIL PROJECT #: 230013



INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.

SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF
AUTHORITY #4560



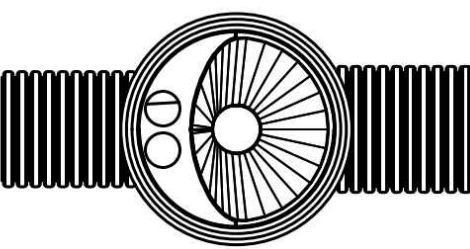
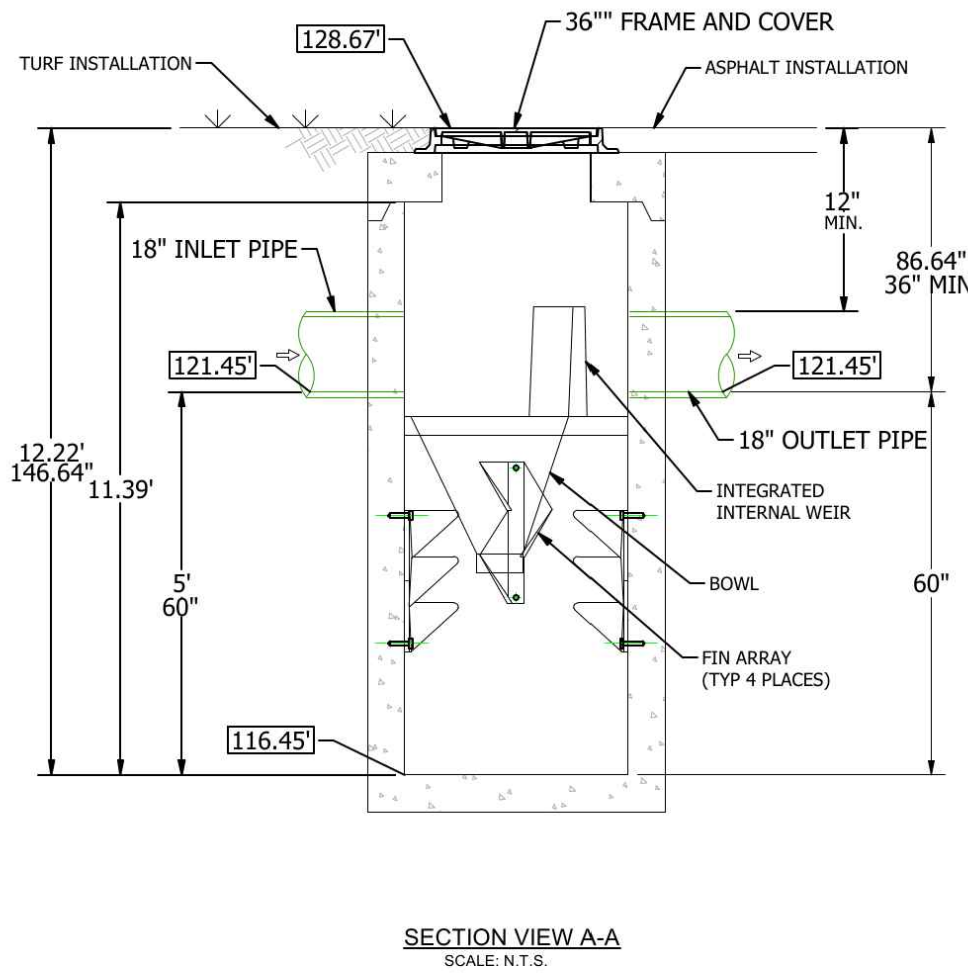
UTILITY DETAILS V

C04.5

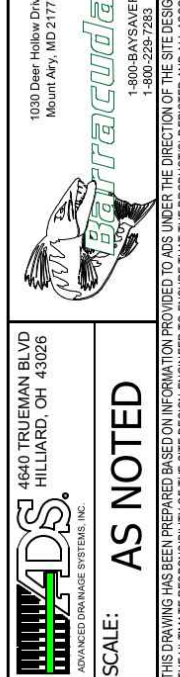
PANDA HOME

PRODUCT SPECIFICATIONS

- THE STORMWATER TREATMENT UNIT SHALL BE AN INLINE UNIT CAPABLE OF CONVEYING 100% OF THE DESIGN PEAK FLOW. IF PEAK FLOW RATES EXCEED MAXIMUM HYDRAULIC RATE, THE UNIT SHALL BE INSTALLED OFFLINE.
- THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 80% OF THE SUSPENDED SOLIDS ON AN ANNUAL AGGREGATE REMOVAL BASIS. SAID REMOVAL SHALL BE BASED ON FULL-SCALE THIRD PARTY TESTING USING 0K-10 MEDIA GRADATION OR EQUIVALENT AND 300 mg/L INFLUENT CONCENTRATION. SAID FULL SCALE TESTING SHALL HAVE INCLUDED SEDIMENT CAPTURE BASED ON ACTUAL TOTAL MASS COLLECTED BY THE STORMWATER TREATMENT UNIT.
- OR THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS USING A MEDIA MIX WITH 650-75 MICRON AND 200 MESH INFLUENT CONCENTRATION.
- OR THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS PER CURRENT NJDEPNACUT HDS PROTOCOL.



BARRACUDA S3		
UNIT ID	S3	
PEAK FLOW RATE CFS	1.33	
TREATMENT FLOW RATE CFS	0.77	
*TREATMENT FLOW RATE PER OK-110		
PWP: FLORENCE, SC	FLORENCE, SC	
DATE:	DATE:	
PROJECT #:	PROJECT #:	
DRAWN:	DRAWN:	
CHECKED:	CHECKED:	
SCALE:	SCALE:	
SHEET:	SHEET:	
OF	OF	

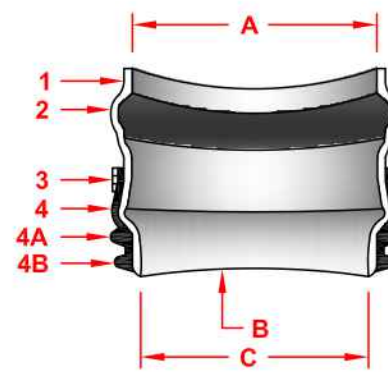


AS NOTED

1 OF 1

FATBOY, SDR 26, SDR 35 GASKETED BELL GRAVITY APPLICATIONS

- BELL END ACCEPTS PIPE WITH SDR 26, SDR 35 AND ASTM D3034 OR EQUIVALENT O.D. SPECIFICATION IN 4" AND 6" SIZES.
- CURVATURE VARIES WITH MAINLINE DIAMETERS.
- SPIGOT END SDR 26, PVC SDR 35, ASTM D3034 DIAMETERS: 4" AND 6"



- | PART | PART NAME |
|------|-----------------|
| 1 | HUB ADAPTOR |
| 2 | RUBBER GASKET |
| 3 | SECURING CLAMP* |

- | PART | PART NAME |
|------|--|
| 4 | RUBBER SLEEVE (AVAILABLE IN NITRILE AND EPDM BY SPECIAL ORDER) |
| 4A | UPPER SEGMENT** |
| 4B | LOWER SEGMENT*** |

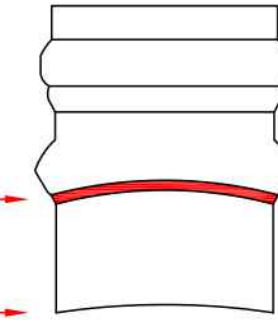
* OPTIONAL: #316 STAINLESS STEEL BAND, SCREW AND HOUSING
 ** DISTANCE BETWEEN 4A AND 4B WILL VARY BY PRODUCT TYPE
 *** WILL NOT APPEAR ON RUBBER SLEEVES FOR CONCRETE OR CLAY PIPE

- | INSERTA TEE SIZE | HOLE DIAMETER |
|------------------|-----------------|
| 4" (100 mm) | 4 1/2" (114 mm) |
| 6" (150 mm) | 6 1/2" (165 mm) |

- | INSERTA TEE SIZE | HOLE DIAMETER |
|------------------|-----------------|
| 4" (100 mm) | 4 1/2" (114 mm) |
| 6" (150 mm) | 6 1/2" (165 mm) |

BUILT IN STOP
FOLLOWS CONTOUR
OF MAINLINE PIPE
(PATENT PENDING)

CUSTOM MADE TO MATCH
THE INTERIOR RADIUS OF THE
MAINLINE PIPE OR STRUCTURE



NOTE: RECOMMENDED METHOD OF CUTTING HOLE IS WITH HOLE SAW FOR PVC AND OTHER PLASTICS, AND DIAMOND BIT FOR CONCRETES, CLAY, FRP AND D.I. (SEE INSTALLATION INSTRUCTIONS. HOLE SAWS ARE AVAILABLE FOR PURCHASE OR RENT.)



INSERTA TEE | P.O. BOX 714
 CORNELIUS, OR 97118
 PH: (503) 357-2110 FAX: (503) 359-5417
 SALES@INSERTATEE.COM

FATBOY, SDR 26, SDR 35 GASKETED BELL GRAVITY APPLICATION SPECIFICATIONS
 SCALE: NTS
 DATE: 9/12/2013
 DRAWN BY: KLJ

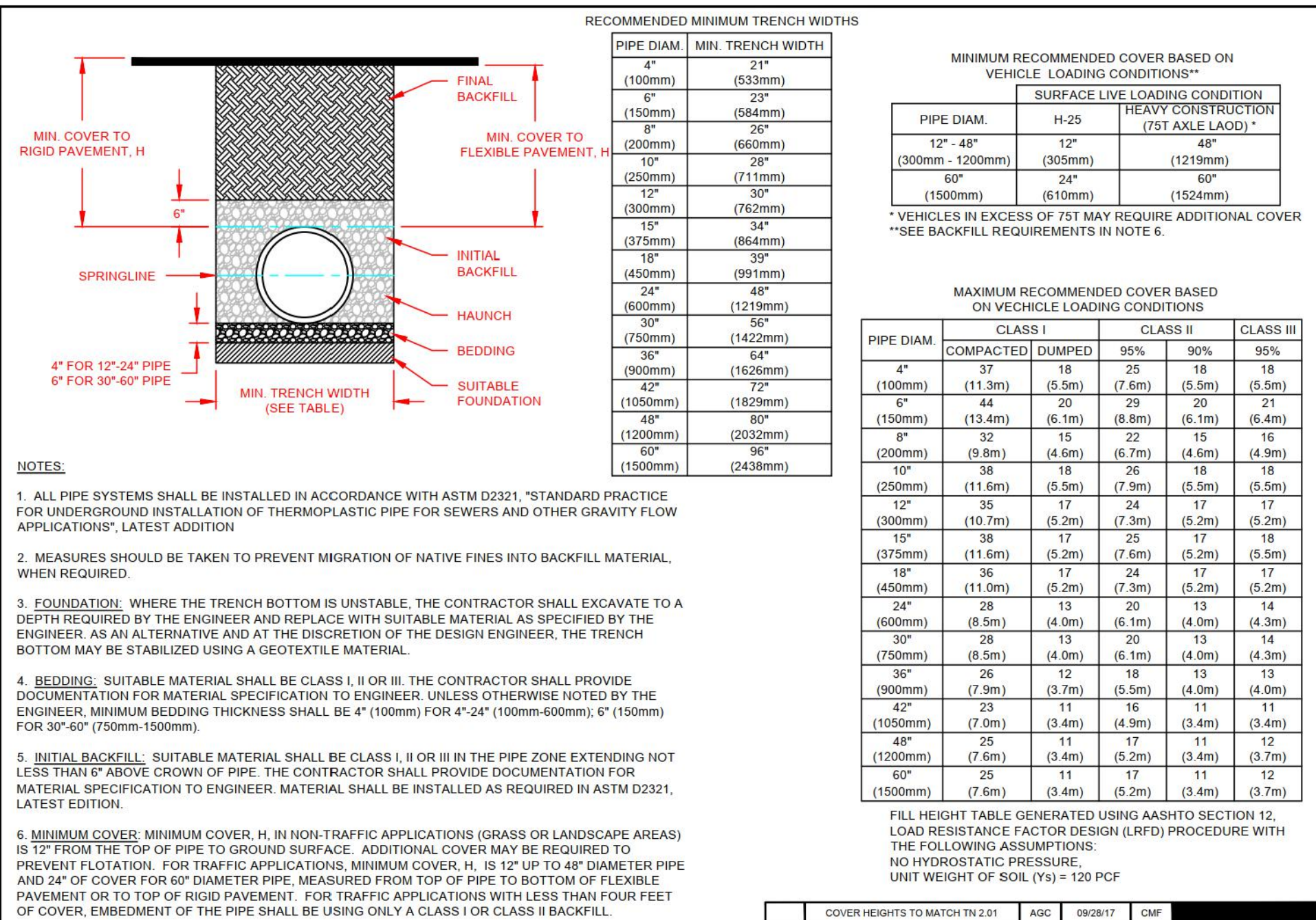
THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH INSERTA TEE HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONVEY, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM INSERTA TEE.

WATER QUALITY UNIT

NTS

INSERT-A-TEE

NTS



- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm), 6" (150mm) FOR 30"-60" (750mm-1500mm).
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 60" DIAMETER PIPE. MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. FOR TRAFFIC APPLICATIONS WITH LESS THAN FOUR FEET OF COVER, EMBEDMENT OF THE PIPE SHALL BE USING ONLY A CLASS I OR CLASS II BACKFILL.

PIPE DIA.	MIN. TRENCH WIDTH
4" (100mm)	21" (533mm)
6" (150mm)	23" (584mm)
8" (200mm)	26" (660mm)
10" (250mm)	29" (738mm)
12" (300mm)	32" (813mm)
15" (375mm)	34" (864mm)
18" (450mm)	39" (991mm)
24" (600mm)	48" (1219mm)
30" (750mm)	56" (1422mm)
36" (900mm)	64" (1626mm)
42" (1050mm)	72" (1829mm)
48" (1200mm)	80" (2033mm)
60" (1500mm)	96" (2438mm)

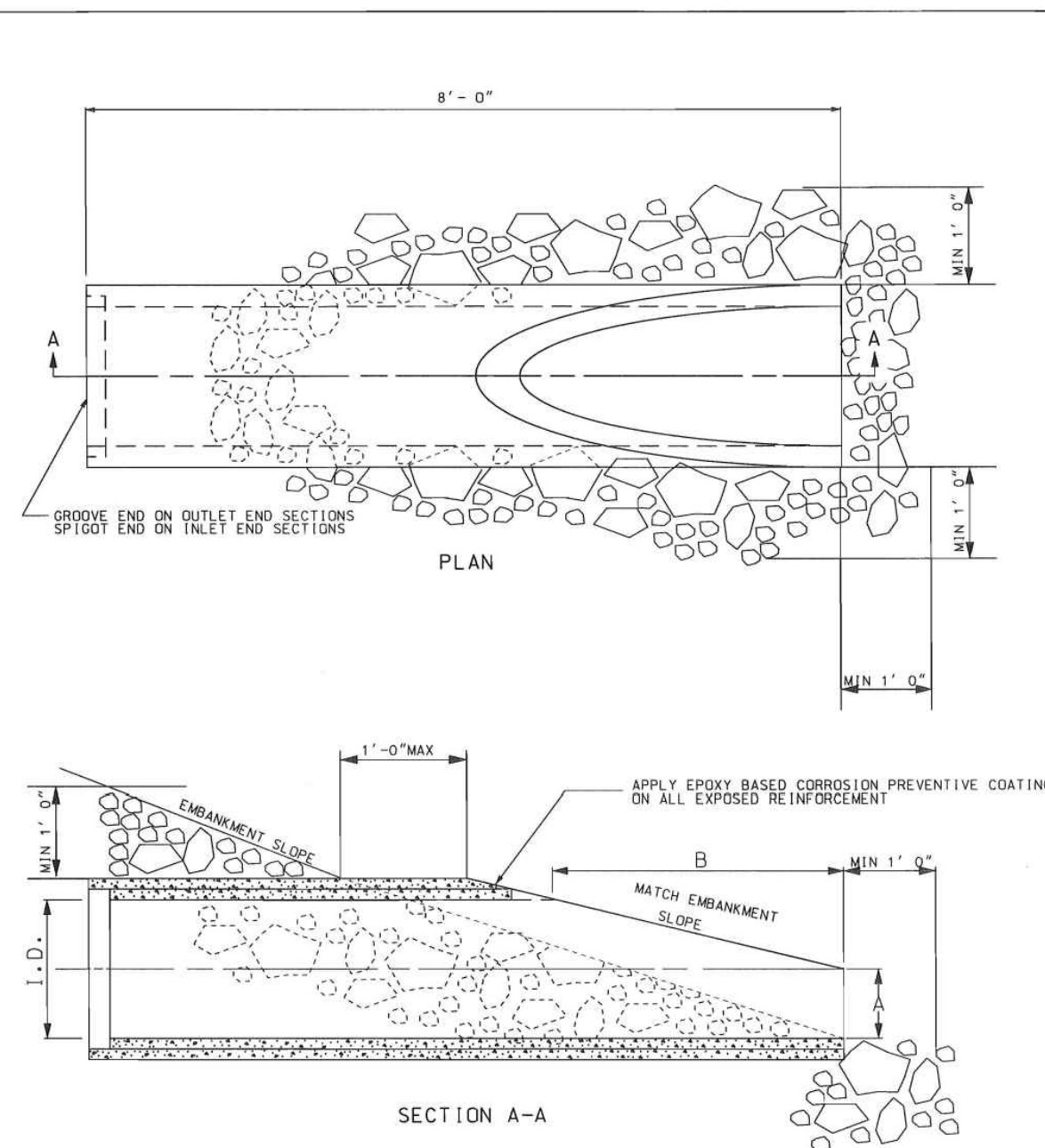
MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS**		
PIPE DIA.	H-25 SURFACE LIVE LOADING CONDITION (75T AXLE LOAD)	H-20 SURFACE LIVE LOADING CONDITION (75T AXLE LOAD)
4" (100mm)	12" (305mm)	48" (1219mm)
6" (150mm)	12" (305mm)	60" (1524mm)

**VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER
 **SEE BACKFILL REQUIREMENTS IN NOTE 6.

MAXIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS						
PIPE DIA. (mm)	CLASS I		CLASS II		CLASS III	
	COMPACTED	DUMPED	95%	90%	95%	90%
4"	37	18	25	18	16	16
6"	44	20	32	20	21	21
8"	43	(6.1m)	(3.8m)	20	(6.1m)	(6.4m)
10"	32	20	27	20	16	16
12"	(9.8m)	(4.6m)	(5.7m)	(4.6m)	(4.3m)	(4.3m)
20"	38	18	26	18	16	16
24"	(11.6m)	(5.2m)	(7.3m)	(5.2m)	(5.5m)	(5.5m)
30"	35	17	24	17	17	17
36"	38	17	27	17	18	18
375mm)	11	(5.2m)	(7.6m)	(5.2m)	(5.5m)	(5.5m)
48"	36	17	24	17	17	17
450mm)	11	(5.2m)	(7.6m)	(5.2m)	(5.5m)	(5.5m)
24"	28	13	20	13	14	14
30"	(8.5m)	(4.0m)	(5.1m)	(4.0m)	(4.3m)	(4.3m)
36"	28	13	20	13	14	14
375mm)	(8.5m)	(4.0m)	(5.1m)	(4.0m)	(4.3m)	(4.3m)
36"	26	12	18	13	13	13
900mm)	(7.3m)	(3.4m)	(4.9m)	(3.4m)	(3.7m)	(3.7m)
42"	23	11	16	11	11	11
1050mm)	(7.0m)	(3.4m)	(4.9m)	(3.4m)	(3.4m)	(3.4m)
48"	25	11	17	12	12	12
1200mm)	(7.6m)	(3.4m)	(5.2m)	(3.4m)	(3.4m)	(3.7m)
60"	25	11	17	11	12	12
1500mm)	(7.6m)	(3.4m)	(5.2m)	(3.4m)	(3.4m)	(3.7m)

FILL HEIGHT TABLE GENERATED USING AASHTO SECTION 12, LOAD RESISTANCE FACTOR DESIGN (LRFD) PROCEDURE WITH THE FOLLOWING ASSUMPTIONS:
 NO HYDROSTATIC PRESSURE.
 UNIT WEIGHT OF SOIL: 119 PCF

REV.	DESCRIPTION	BY	DATE	CHKD
1	COVER HEIGHTS TO MATCH TN 2.01	AGC	09/28/17	CMP
2	TRENCH INSTALLATION DETAIL (N-18 PER AASHTO)	AGC	09/28/17	CMP



- BEVELED END SECTIONS WILL BE MANUFACTURED IN ACCORDANCE WITH SCOT SUPPLEMENTAL TECHNICAL SPECIFICATIONS SC-M-714. THESE SPECIAL PIPE SECTIONS WILL BE MADE DURING THE MANUFACTURING OF OTHER STATE APPROVED REINFORCED CONCRETE PIPE.
- THE PIPE BEVEL MAY BE SAWN IN THE FIELD IN LIEU OF BEING MANUFACTURED. IN FIELD SAWING, THE BEVEL DRAINAGE MAY COME TO A POINT AT THE PIPE CORNER RATHER THAN A RADIUS IF APPROVED BY THE PIPE MANUFACTURER. ALTERNATE PIPE FOR SIDELINES MUST HAVE EACH END BEVELED TO MATCH THE ADJACENT SLOPES.
- PLACE RIPRAP AS DIRECTED BY THE RCE.
- PAYMENT FOR BEVELED END SECTIONS WILL BE AS DIRECTED IN SC-M-714.
- THE PAY ITEM SHALL BE:

CLASS	D 50 (FT)	MINIMUM THICKNESS (FT)
B	0.75	1.50
C	1.30	2.60

TABLE 719-610A													
EMBAKMENT SLOPE													
		5:1		4:1		3:1		2:1					
		6		5		4		3		2			
I.D. (IN)		A (IN)		B (BEVELED LENGTH) (IN)									
15		6		54		45		36		27		18	
18		9		54		45		36		27		18	
24		10		NA		70		56		42		28	
30		12		NA		NA		72		54		36	
36		15		NA		NA		NA		63		42	
42		20		NA		NA		NA		66		44	
48		24		NA		NA		NA		72		48	
54		24		NA		NA		NA		NA		60	
60		24		NA		NA		NA		NA		72	

REFERENCES	
NATIONAL DOCUMENTS	
SCOT DOCUMENTS	
SCOT SUPPLEMENTAL TECHNICAL SPECIFICATION SC-M-714	
PRECONSTRUCTION SUPPORT ENGINEER	
SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEER	
No. 21242	
JAMES W. KENDALL, III	
SIGNATURE	
DATE	
5	
4	
3	
2	
1	
0	
719-610-00	
EFFECTIVE TESTING DATE	

STORM PIPE BEDDING

NTS

FLARED END SECTION

NTS



PANDA EXPRESS, INC.

1683 WALNUT GROVE AVE.
 ROSEMEAD, CALIFORNIA 91770

TELEPHONE: 626.799.9898
 FACSIMILE: 626.372.8268

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01 02/21/2024 CITY COMMENTS

ISSUE DATE:

PERMIT/BID 12/14/2023
 PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA

PANDA PROJECT #: D26523

PANDA STORE #: 3877

CIVIL PROJECT #: 230013



INGENIUM ENTERPRISES, INC.
 5991 PARKWAY NORTH BLVD.

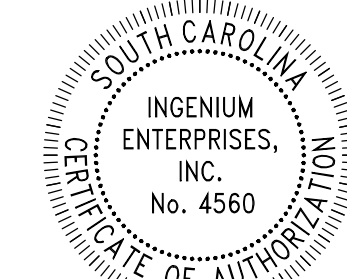
SUITE A

CUMMING, GEORGIA 30040

PHONE: (770) 437-8850

SOUTH CAROLINA CERT. OF

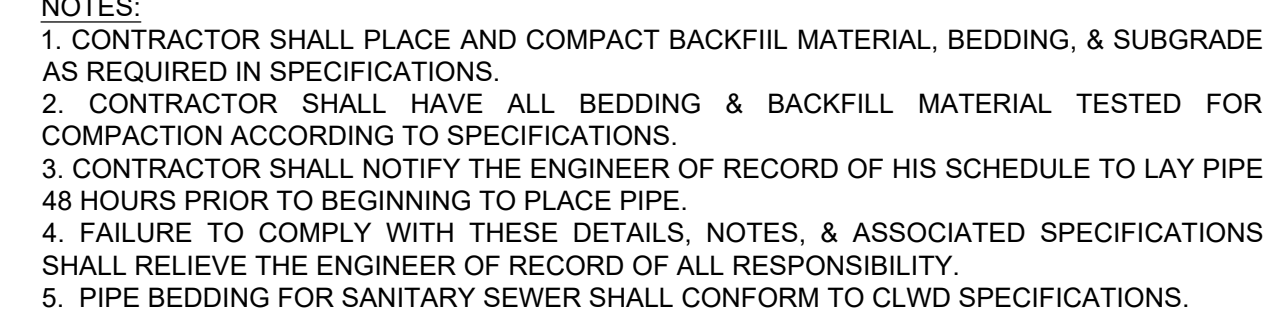
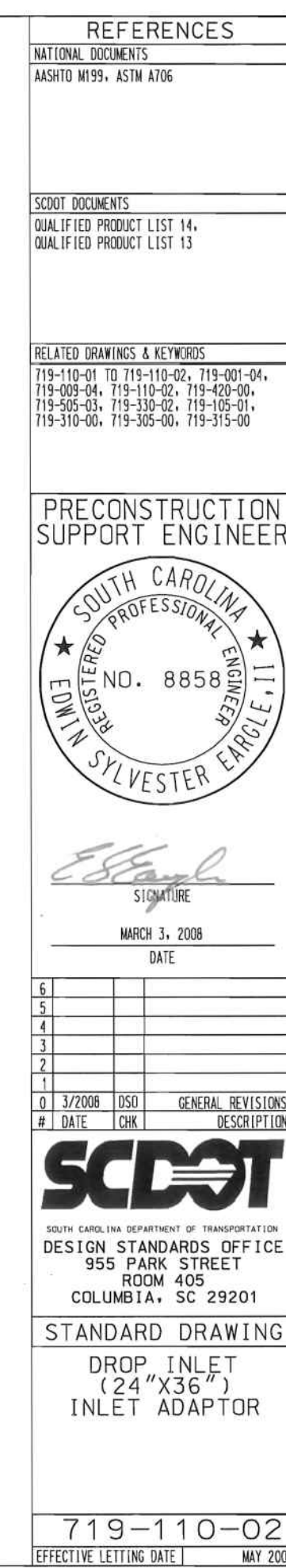
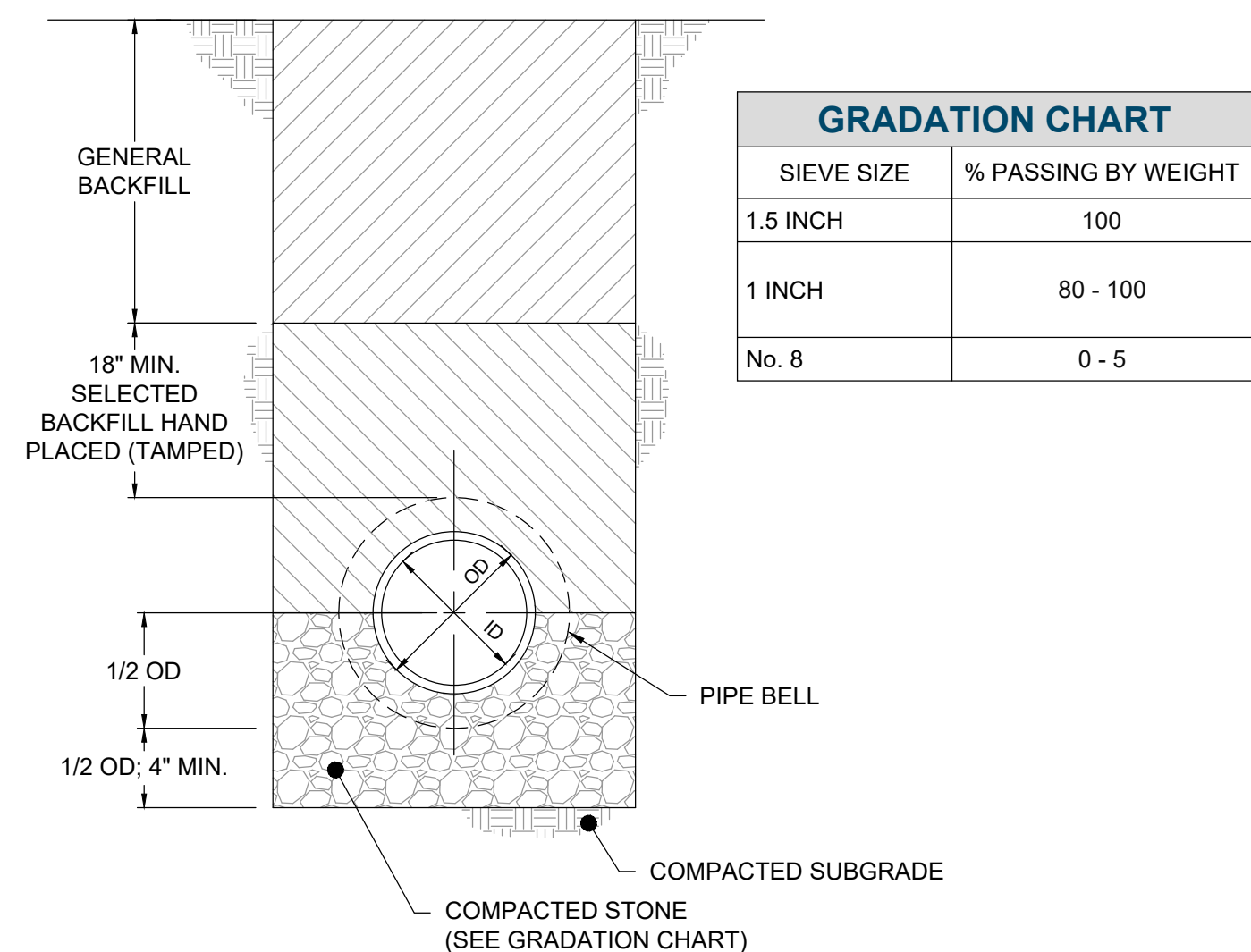
AUTHORITY #4580



UTILITY DETAILS VI

C04.6

PANDA HOME



TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

01 02/21/2024 CITY COMMENTS

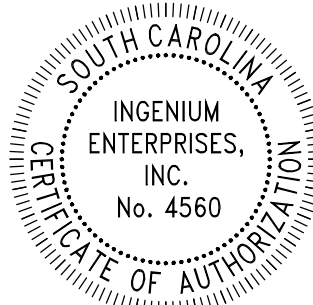
GRADATION CHART	
SIEVE SIZE	% PASSING BY WEIGHT
1.5 INCH	100
1 INCH	80 - 100
No. 8	0 - 5

PERMIT/BID REVISION 02/21/2024

CIVIL PROJECT #: 230013



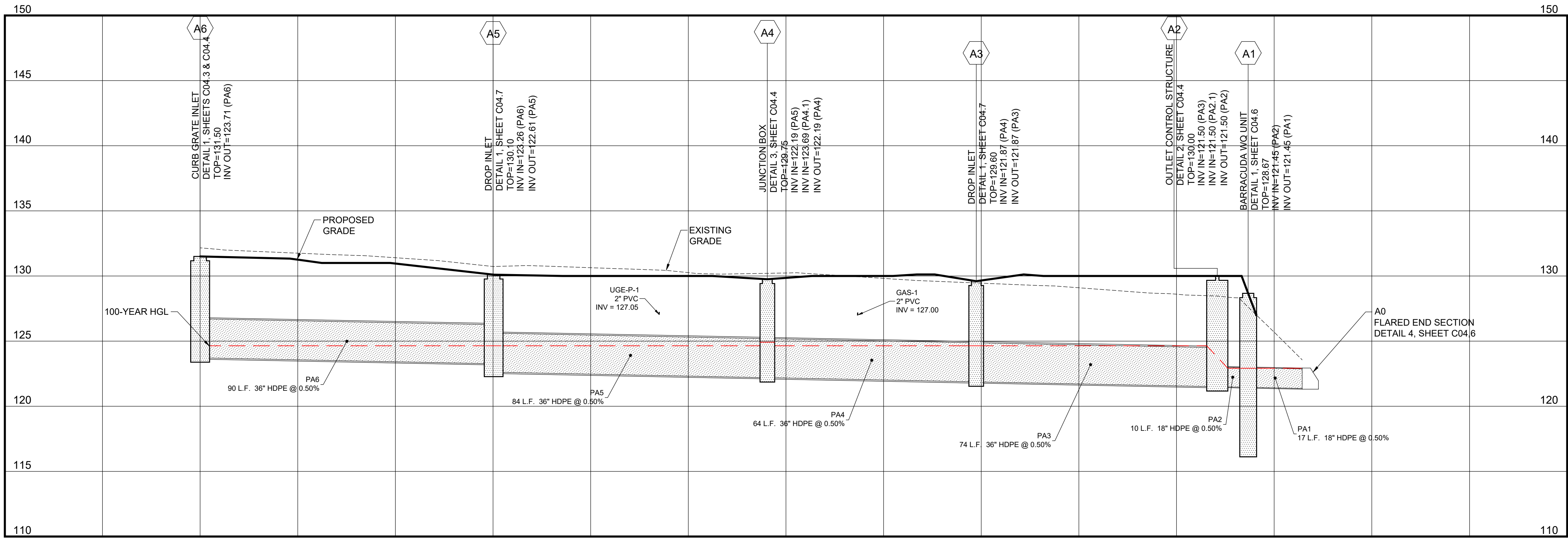
SOUTH CAROLINA CERT. OF
AUTHORITY #4560



C04.7

PANDA HOME

STORM PROFILE A6-A0



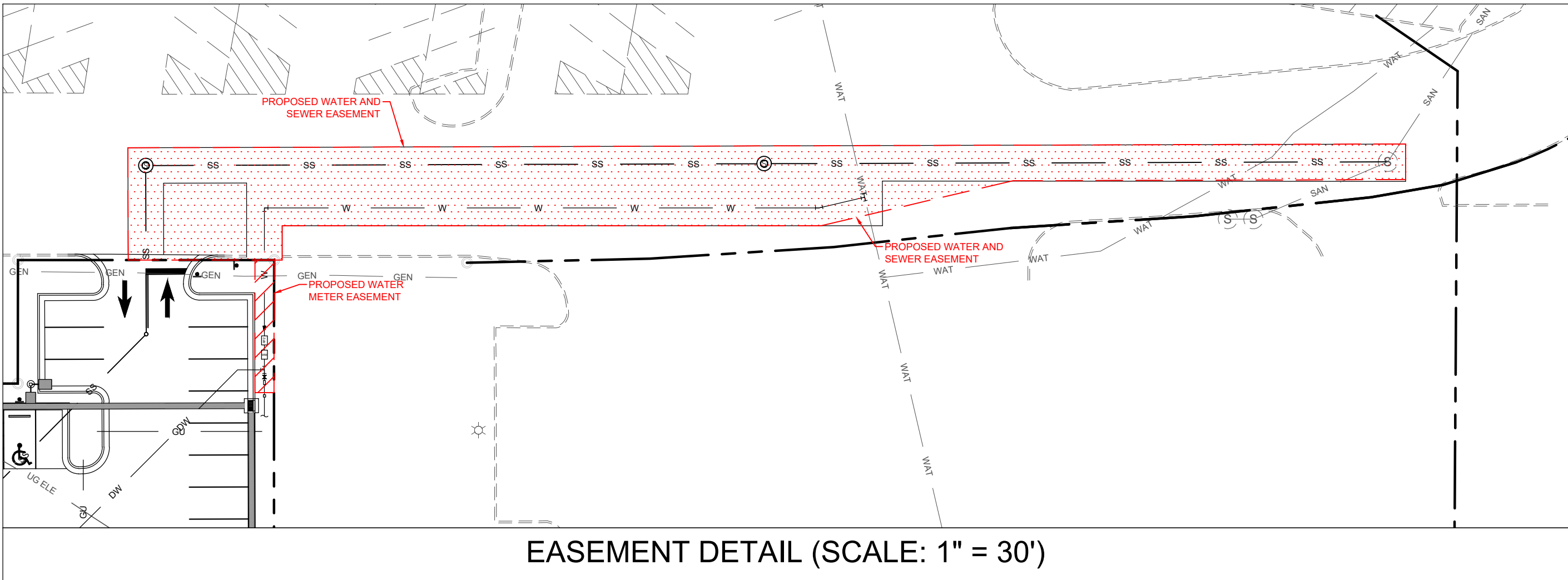
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

PROFILE NOTES

1. CONTROLLED BACK FILL TO BE PLACED IN 6" LOOSE LIFT AND COMPACTED TO 100% ASTM D698 PRIOR TO STORM AND SANITARY SEWER CONSTRUCTION. BACK FILL SHALL BE PLACED TO A MINIMUM OF 12" ABOVE THE CROWN ELEVATION OF THE PIPES.
2. STORM DRAIN AND SANITARY SEWER LENGTHS ARE MEASURED FROM CENTER LINE OF STRUCTURE TO CENTERLINE OF STRUCTURE OR FACE OF HEADWALL.
3. ALL PIPE LENGTHS SHOWN ARE ROUNDED TO THE NEAREST FOOT.
4. ALL STORM DRAIN PIPING SHALL BE TRENCHED, BEDDED AND BACK FILLED ACCORDING WITH DETAIL 3 ON SHEET C04.6 UNLESS SPECIFICALLY NOTED OTHERWISE.
5. ALL SANITARY SEWER PIPING SHALL BE TRENCHED, BEDDED AND BACK FILLED ACCORDING WITH DETAIL 2 ON SHEET C04.7 UNLESS SPECIFICALLY NOTED OTHERWISE.
6. UNFORESEEN SUBSURFACE CONDITIONS SHALL BE BROUGHT TO THE OWNER'S AND ENGINEER'S ATTENTION IMMEDIATELY IMPLEMENTATION OF CORRECTIVE BEDDING MEASURES WITHOUT THE OWNER'S APPROVAL SHALL BE AT THE CONTRACTOR'S OWN RISK AND AT NO ADDITIONAL COMPENSATION.
7. EXISTING GRADES SHOWN ARE APPROXIMATE AND DO NOT REFLECT TOP SOIL REMOVAL, CLEARING, AND GRUBBING OPERATIONS. THE CONTRACTOR SHALL ASCERTAIN FOR HIMSELF THE EXTENT OF DISTURBANCE FOR THESE ACTIVITIES.
8. EXCAVATIONS FOR STRUCTURES SHALL BE TAKEN AS A TRENCHING EXCAVATION WITHOUT FURTHER COMPENSATION.
9. SEE SHEET C01.1 FOR GENERAL NOTES.

STORM STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE TYPE	RIM ELEVATION	INVERT IN	INVERT OUT
A0	FLARED END SECTION DETAIL 4, SHEET C04.6	123.43	121.37 (PA1)	
A1	BARRACUDA WQ UNIT DETAIL 1, SHEET C04.6	128.67	121.45 (PA2)	121.45 (PA1)
A2	OUTLET CONTROL STRUCTURE DETAIL 2, SHEET C04.4	130.00	121.50 (PA3) 121.50 (PA2.1)	121.50 (PA2)
A2.1	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	129.30	121.73 (PA2.2)	121.73 (PA2.1)
A2.2	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	129.00	122.07 (PA2.3)	122.07 (PA2.2)
A2.3	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	129.20	122.78 (PA2.4)	122.77 (PA2.3)
A2.4	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	129.00		122.82 (PA2.4)
A3	DROP INLET DETAIL 1, SHEET C04.7	129.60	121.87 (PA4)	121.87 (PA3)
A4	JUNCTION BOX DETAIL 3, SHEET C04.4	129.75	122.19 (PA5) 123.69 (PA4.1)	122.19 (PA4)
A4.1	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	130.06		123.81 (PA4.1)
A5	DROP INLET DETAIL 1, SHEET C04.7	130.10	123.26 (PA6)	122.61 (PA5)
A6	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	131.50		123.71 (PA6)

STORM PIPE TABLE				
PIPE NAME	SIZE	LENGTH	SLOPE	MATERIAL
PA1	18"	16.59'	0.50%	HDPE
PA2	18"	9.51'	0.50%	HDPE
PA2.1	18"	45.50'	0.50%	HDPE
PA2.2	18"	69.31'	0.50%	HDPE
PA2.3	18"	140.17'	0.50%	HDPE
PA2.4	18"	9.00'	0.50%	HDPE
PA3	36"	74.07'	0.50%	HDPE
PA4	36"	64.18'	0.50%	HDPE
PA4.1	18"	24.00'	0.50%	HDPE
PA5	36"	84.09'	0.50%	HDPE
PA6	36"	90.19'	0.50%	HDPE



PANDA EXPRESS, INC.

1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770

TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01 02/21/2024 CITY COMMENTS

ISSUE DATE:

PERMIT/BID 12/14/2023

PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA

PANDA PROJECT #: D26523

PANDA STORE #: 3877

CIVIL PROJECT #: 230013



INGENIUM ENTERPRISES, INC.

5991 PARKWAY NORTH BLVD.

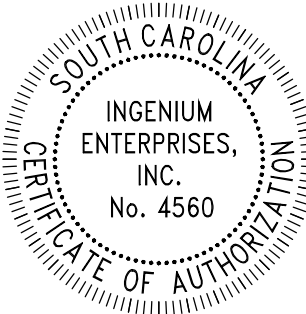
SUITE A

CUMMING, GEORGIA 30040

PHONE: (770) 437-8850

SOUTH CAROLINA CERT. OF

AUTHORITY #4560

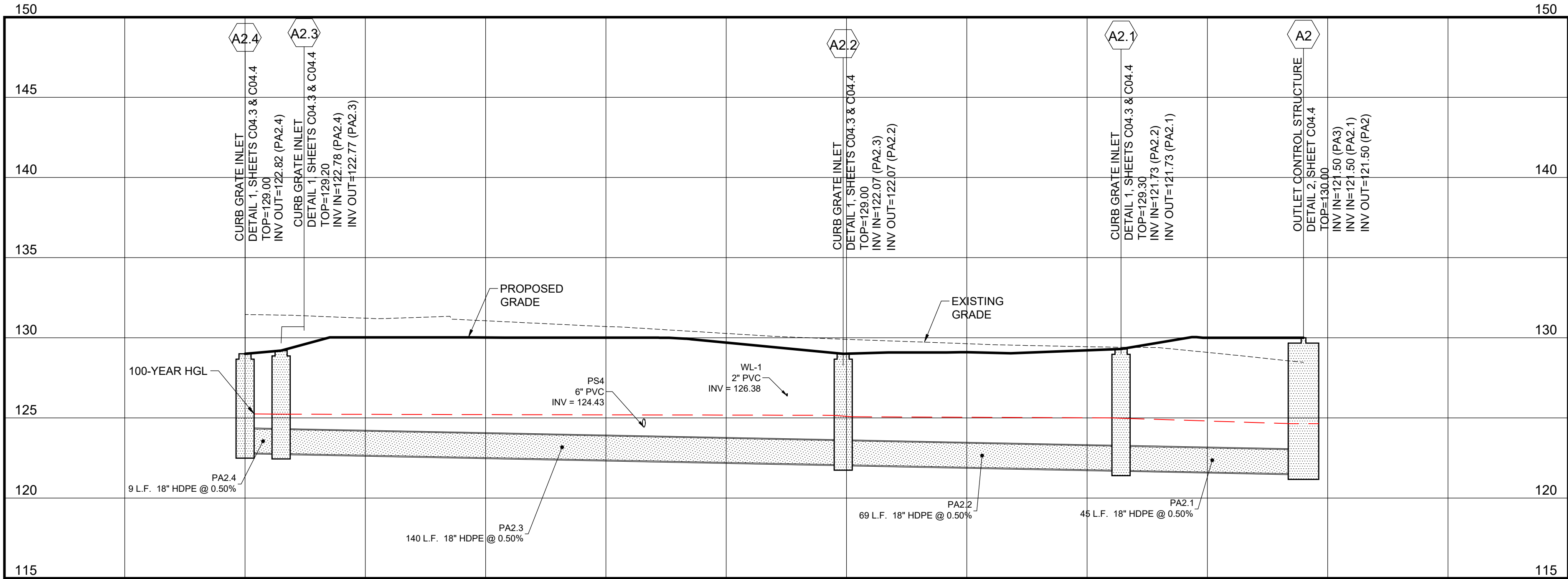


PIPE PROFILES I

C04.8

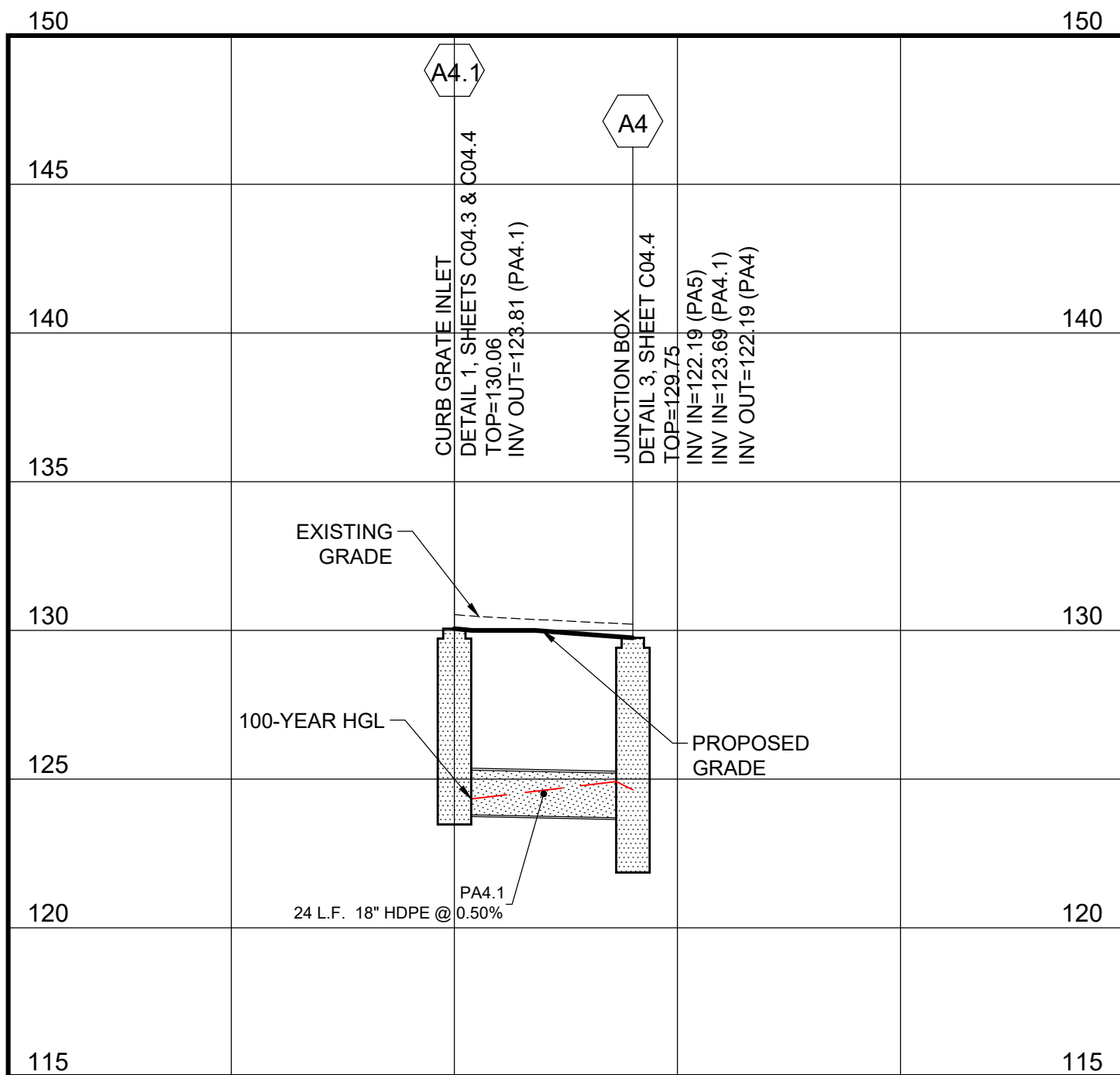
PANDA HOME

STORM PROFILE A2.4-A2



HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

STORM PROFILE A4.1-A4



HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

STORM STRUCTURE TABLE

STRUCTURE NAME	STRUCTURE TYPE	RIM ELEVATION	INVERT IN	INVERT OUT
A0	FLARED END SECTION DETAIL 4, SHEET C04.6	123.43	121.37 (PA1)	
A1	BARRACUDA WO UNIT DETAIL 1, SHEET C04.6	128.67	121.45 (PA2)	121.45 (PA1)
A2	OUTLET CONTROL STRUCTURE DETAIL 2, SHEET C04.4	130.00	121.50 (PA3) 121.50 (PA2.1)	121.50 (PA2)
A2.1	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	129.30	121.73 (PA2.2)	121.73 (PA2.1)
A2.2	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	129.00	122.07 (PA2.3)	122.07 (PA2.2)
A2.3	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	129.20	122.78 (PA2.4)	122.77 (PA2.3)
A2.4	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	129.00		122.82 (PA2.4)
A3	DROP INLET DETAIL 1, SHEET C04.7	129.60	121.87 (PA4)	121.87 (PA3)
A4	JUNCTION BOX DETAIL 3, SHEET C04.4	129.75	122.19 (PA5) 123.69 (PA4.1)	122.19 (PA4)
A4.1	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	130.06		123.81 (PA4.1)
A5	DROP INLET DETAIL 1, SHEET C04.7	130.10	123.26 (PA6)	122.81 (PA5)
A6	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	131.50		123.71 (PA6)

STORM PIPE TABLE

PIPE NAME	SIZE	LENGTH	SLOPE	MATERIAL
PA1	18"	16.59'	0.50%	HDPE
PA2	18"	9.51'	0.50%	HDPE
PA2.1	18"	45.50'	0.50%	HDPE
PA2.2	18"	69.31'	0.50%	HDPE
PA2.3	18"	140.17'	0.50%	HDPE
PA2.4	18"	9.00'	0.50%	HDPE
PA3	36"	74.07'	0.50%	HDPE
PA4	36"	64.18'	0.50%	HDPE
PA4.1	18"	24.00'	0.50%	HDPE
PA5	36"	84.09'	0.50%	HDPE
PA6	36"	90.19'	0.50%	HDPE

PROFILE NOTES

- CONTROLLED BACK FILL TO BE PLACED IN 6" LOOSE LIFT AND COMPACTED TO 100% ASTM D698 PRIOR TO STORM AND SANITARY SEWER CONSTRUCTION. BACK FILL SHALL BE PLACED TO A MINIMUM OF ±2' ABOVE THE CROWN ELEVATION OF THE PIPES.
- STORM DRAIN AND SANITARY SEWER LENGTHS ARE MEASURED FROM CENTER LINE OF STRUCTURE TO CENTERLINE OF STRUCTURE OR FACE OF HEADWALL.
- ALL PIPE LENGTHS SHOWN ARE ROUNDED TO THE NEAREST FOOT.
- ALL STORM DRAIN PIPING SHALL BE TRENCHED, BEDDED AND BACK FILLED ACCORDING WITH DETAIL 3 ON SHEET C04.6 UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL SANITARY SEWER PIPING SHALL BE TRENCHED, BEDDED AND BACK FILLED ACCORDING WITH DETAIL 2 ON SHEET C04.7 UNLESS SPECIFICALLY NOTED OTHERWISE.
- UNFORESEEN SUBSURFACE CONDITIONS SHALL BE BROUGHT TO THE OWNER'S AND ENGINEER'S ATTENTION IMMEDIATELY IMPLEMENTATION OF CORRECTIVE BEDDING MEASURES WITHOUT THE OWNER'S APPROVAL SHALL BE AT THE CONTRACTOR'S OWN RISK AND AT NO ADDITIONAL COMPENSATION.
- EXISTING GRADES SHOWN ARE APPROXIMATE AND DO NOT REFLECT TOP SOIL REMOVAL, CLEARING, AND GRUBBING OPERATIONS. THE CONTRACTOR SHALL ASCERTAIN FOR HIMSELF THE EXTENT OF DISTURBANCE FOR THESE ACTIVITIES.
- EXCAVATIONS FOR STRUCTURES SHALL BE TAKEN AS A TRENCHING EXCAVATION WITHOUT FURTHER COMPENSATION.
- SEE SHEET C01.1 FOR GENERAL NOTES.



PANDA EXPRESS, INC.

1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770

TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01 02/21/2024 CITY COMMENTS

ISSUE DATE:

PERMIT/BID 12/14/2023

PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA

PANDA PROJECT #: D26523

PANDA STORE #: 3877

CIVIL PROJECT #: 230013



INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF
AUTHORITY #4560



2/21/24

PIPE PROFILES II

C04.9

PANDA HOME

[illegible]

SANITARY SEWER PROFILE A10-EX1 (1)

The profile shows a sewer line with two manholes: S1 (Sanitary Sewer Manhole, Detail 4, Sheet C04.2) and EX1 (Existing Sewer Manhole). The line is labeled with a match line on the left and a vertical scale on the right. The profile includes a section of 6" PVC pipe at a 2.00% slope, with a length of 174 L.F. (PS2) and 175 L.F. (PS1). The existing grade is indicated by a dashed line.

Match Line (See This Sheet)

Vertical Scale: 110, 115, 120, 125, 130, 135, 140, 145

Horizontal Scale: 1"=20'

Vertical Scale: 1"=5'

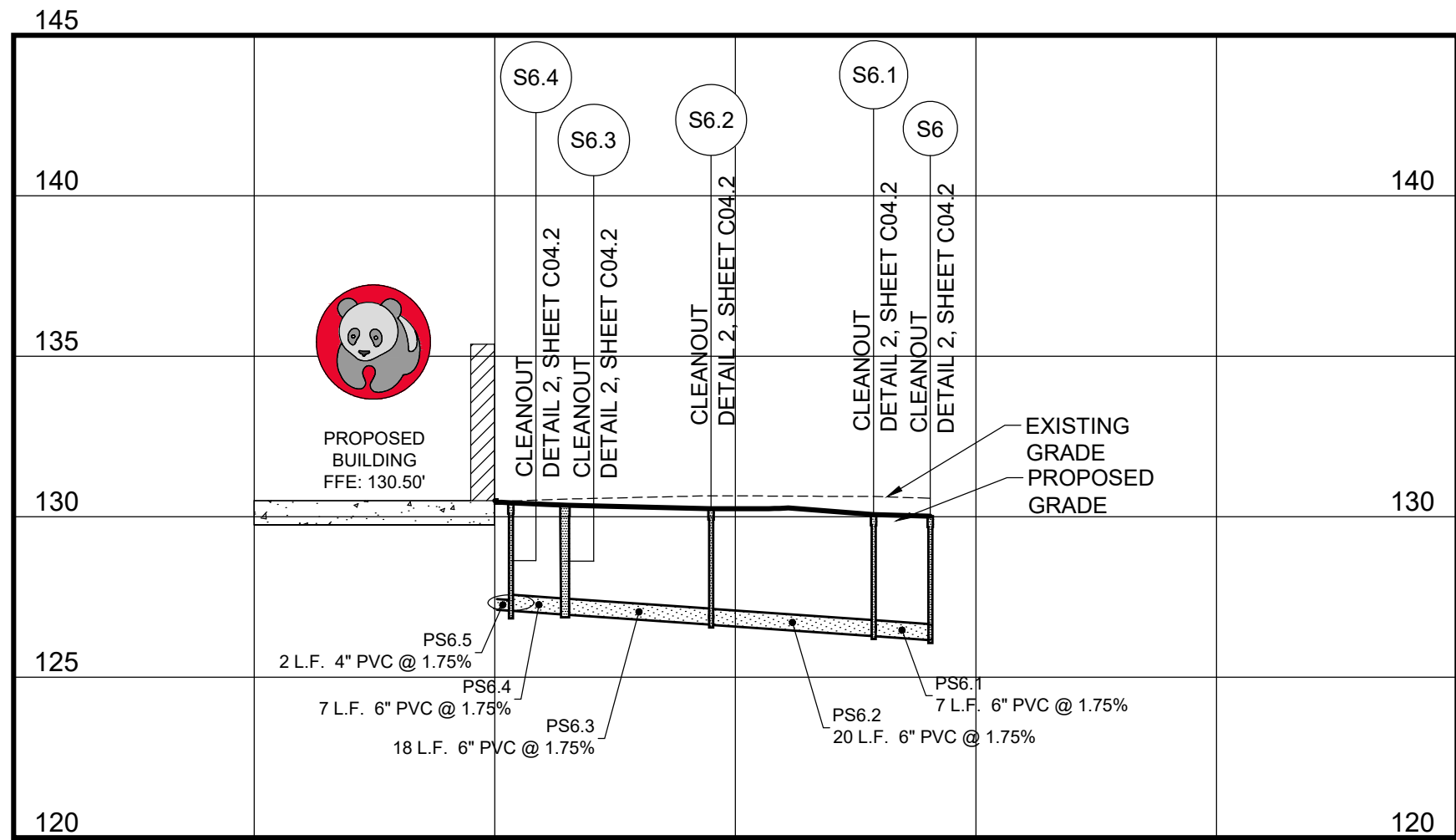
1. CONTROLLED BACK FILL TO BE PLACED IN 6" LOOSE LIFT AND COMPACTED TO 100% ASTM D883 PRIOR TO STORM DRAIN SEWER CONSTRUCTION. BACK FILL SHALL BE PLACED TO A MINIMUM OF 12" ABOVE THE CROWN ELEVATION OF THE PIPES.
2. STORM DRAIN AND SANITARY SEWER LENGTHS ARE MEASURED FROM CENTER LINE OF STRUCTURE TO CENTERLINE OF STRUCTURE OR FACE OF HEADWALL.
3. ALL PIPE LENGTHS SHOWN ARE ROUNDED TO THE NEAREST FOOT.
4. ALL STORM DRAIN PIPING SHALL BE TRENCHED, BEDDED AND BACK FILLED ACCORDING WITH DETAIL 3 ON SHEET C04.6 UNLESS SPECIFICALLY NOTED OTHERWISE.
5. ALL SANITARY SEWER PIPING SHALL BE TRENCHED, BEDDED AND BACK FILLED ACCORDING WITH DETAIL 2 ON SHEET C04.7 UNLESS SPECIFICALLY NOTED OTHERWISE.
6. UNFORESEEN SUBSURFACE CONDITIONS SHALL BE BROUGHT TO THE OWNER'S AND ENGINEERS ATTENTION IMMEDIATELY. IMPLEMENTATION OF CORRECTIVE BEDDING MEASURES WITHOUT THE OWNER'S APPROVAL SHALL BE AT THE CONTRACTOR'S OWN RISK AND AT NO ADDITIONAL COMPENSATION.
7. EXISTING GRADES SHOWN ARE APPROXIMATE AND DO NOT REFLECT TOP SOIL REMOVAL, CLEARING, AND GRUBBING REQUIRED. THE CONTRACTOR SHALL ASCERTAIN FOR HIMSELF THE EXTENT OF DISTURBANCE FOR THESE ACTIVITIES.
8. EXCAVATIONS FOR STRUCTURES SHALL BE TAKEN AS A TRENCHING EXCAVATION WITHOUT FURTHER COMPENSATION.
9. SEE SHEET C01.1 FOR GENERAL NOTES.

STRUCTURE NAME	STRUCTURE TYPE	RIM ELEVATION	INVERT IN	INVERT OUT
EX1	EXISTING SEWER MANHOLE	124.94	116.12 (PS1)	
S1	SANITARY SEWER MANHOLE DETAIL 4, SHEET C04.2	127.12	119.63 (PS2)	119.63 (PS1)
S2	SANITARY SEWER MANHOLE DETAIL 4, SHEET C04.2	128.92	123.10 (PS3)	123.10 (PS2)
S3	CLEANOUT DETAIL 2, SHEET C04.2	129.55	123.94 (PS4)	123.94 (PS3)
S4	CLEANOUT DETAIL 2, SHEET C04.2	130.27	125.16 (PS5)	125.16 (PS4)
S5	CLEANOUT DETAIL 2, SHEET C04.2	130.12	125.94 (PS6)	125.94 (PS5)
S6	CLEANOUT DETAIL 2, SHEET C04.2	130.02	126.16 (PS7) 126.16 (PS6.1)	126.16 (PS6)
S6.1	CLEANOUT DETAIL 2, SHEET C04.2	130.07	126.28 (PS6.2)	126.28 (PS6.1)
S6.2	CLEANOUT DETAIL 2, SHEET C04.2	130.25	126.64 (PS6.3)	126.63 (PS6.2)
S6.3	CLEANOUT DETAIL 2, SHEET C04.2	130.36	126.95 (PS6.4)	126.95 (PS6.3)
S6.4	CLEANOUT DETAIL 2, SHEET C04.2	130.44	127.07 (PS6.5)	127.07 (PS6.4)
S6.5	BUILDING STUB	130.50		127.11 (PS6.5)
S7	1000 GALLON GREASE TRAP DETAIL 3, SHEET C04.2	130.28		
S7-IN	GREASE TRAP STUB-IN	130.31	126.49 (PS8)	
S7-OUT	GREASE TRAP STUB-OUT	130.17		126.29 (PS7)
S8	CLEANOUT DETAIL 2, SHEET C04.2	130.30	126.64 (PS9)	126.64 (PS8)
S9	CLEANOUT DETAIL 2, SHEET C04.2	130.38	126.88 (PS10)	126.88 (PS9)
S10	CLEANOUT DETAIL 2, SHEET C04.2	130.44	126.97 (PS11)	126.97 (PS10)
S11	BUILDING STUB	130.50		127.00 (PS11)

PIPE NAME	SIZE	LENGTH	SLOPE	MATERIAL
PS1	6"	175.28'	2.00%	PVC
PS2	6"	173.78'	2.00%	PVC
PS3	6"	47.36'	1.76%	PVC
PS4	6"	69.80'	1.75%	PVC
PS5	6"	44.91'	1.75%	PVC
PS6	6"	12.27'	1.75%	PVC
PS6.1	6"	7.08'	1.75%	PVC
PS6.2	6"	20.27'	1.75%	PVC
PS6.3	6"	17.98'	1.75%	PVC
PS6.4	6"	7.00'	1.75%	PVC
PS6.5	4"	2.01'	1.75%	PVC
PS7	6"	7.64'	1.75%	PVC
PS8	6"	8.79'	1.75%	PVC
PS9	6"	13.49'	1.75%	PVC
PS10	6"	5.18'	1.75%	PVC
PS11	4"	2.00'	1.45%	PVC



SANITARY SEWER PROFILE S5.5-S5



HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

PROFILE NOTES

1. CONTROLLED BACK FILL TO BE PLACED IN 6" LOOSE LIFT AND COMPACTED TO 100% ASTM D698 PRIOR TO STORM AND SANITARY SEWER CONSTRUCTION. BACK FILL SHALL BE PLACED TO A MINIMUM OF ±2' ABOVE THE CROWN ELEVATION OF THE PIPES.
2. STORM DRAIN AND SANITARY SEWER LENGTHS ARE MEASURED FROM CENTER LINE OF STRUCTURE TO CENTERLINE OF STRUCTURE OR FACE OF HEADWALL.
3. ALL PIPE LENGTHS SHOWN ARE ROUNDED TO THE NEAREST FOOT.
4. ALL STORM DRAIN PIPING SHALL BE TRENCHED, BEDDED AND BACK FILLED ACCORDING WITH DETAIL 3 ON SHEET C04.6 UNLESS SPECIFICALLY NOTED OTHERWISE.
5. ALL SANITARY SEWER PIPING SHALL BE TRENCHED, BEDDED AND BACK FILLED ACCORDING WITH DETAIL 2 ON SHEET C04.7 UNLESS SPECIFICALLY NOTED OTHERWISE.
6. UNFORESEEN SUBSURFACE CONDITIONS SHALL BE BROUGHT TO THE OWNER'S AND ENGINEER'S ATTENTION IMMEDIATELY IMPLEMENTATION OF CORRECTIVE BEDDING MEASURES WITHOUT THE OWNER'S APPROVAL SHALL BE AT THE CONTRACTOR'S OWN RISK AND AT NO ADDITIONAL COMPENSATION.
7. EXISTING GRADES SHOWN ARE APPROXIMATE AND DO NOT REFLECT TOP SOIL REMOVAL, CLEARING, AND GRUBBING OPERATIONS. THE CONTRACTOR SHALL ASCERTAIN FOR HIMSELF THE EXTENT OF DISTURBANCE FOR THESE ACTIVITIES.
8. EXCAVATIONS FOR STRUCTURES SHALL BE TAKEN AS A TRENCHING EXCAVATION WITHOUT FURTHER COMPENSATION.
9. SEE SHEET C01.1 FOR GENERAL NOTES.

SANITARY STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE TYPE	RIM ELEVATION	INVERT IN	INVERT OUT
EX1	EXISTING SEWER MANHOLE	124.94	116.12 (PS1)	
S1	SANITARY SEWER MANHOLE DETAIL 4, SHEET C04.2	127.12	119.63 (PS2)	119.63 (PS1)
S2	SANITARY SEWER MANHOLE DETAIL 4, SHEET C04.2	128.92	123.10 (PS3)	123.10 (PS2)
S3	CLEANOUT DETAIL 2, SHEET C04.2	129.55	123.94 (PS4)	123.94 (PS3)
S4	CLEANOUT DETAIL 2, SHEET C04.2	130.27	125.16 (PS5)	125.16 (PS4)
S5	CLEANOUT DETAIL 2, SHEET C04.2	130.12	125.94 (PS6)	125.94 (PS5)
S6	CLEANOUT DETAIL 2, SHEET C04.2	130.02	126.16 (PS7) 126.16 (PS6.1)	126.16 (PS6)
S6.1	CLEANOUT DETAIL 2, SHEET C04.2	130.07	126.28 (PS6.2)	126.28 (PS6.1)
S6.2	CLEANOUT DETAIL 2, SHEET C04.2	130.25	126.64 (PS6.3)	126.63 (PS6.2)
S6.3	CLEANOUT DETAIL 2, SHEET C04.2	130.36	126.95 (PS6.4)	126.95 (PS6.3)
S6.4	CLEANOUT DETAIL 2, SHEET C04.2	130.44	127.07 (PS6.5)	127.07 (PS6.4)
S6.5	BUILDING STUB	130.50		127.11 (PS6.5)
S7	1000 GALLON GREASE TRAP DETAIL 3, SHEET C04.2	130.28		
S7-IN	GREASE TRAP STUB-IN	130.31	126.49 (PS8)	
S7-OUT	GREASE TRAP STUB-OUT	130.17		126.29 (PS7)
S8	CLEANOUT DETAIL 2, SHEET C04.2	130.30	126.64 (PS9)	126.64 (PS8)
S9	CLEANOUT DETAIL 2, SHEET C04.2	130.38	126.88 (PS10)	126.88 (PS9)
S10	CLEANOUT DETAIL 2, SHEET C04.2	130.44	126.97 (PS11)	126.97 (PS10)
S11	BUILDING STUB	130.50		127.00 (PS11)

SANITARY PIPE TABLE				
PIPE NAME	SIZE	LENGTH	SLOPE	MATERIAL
PS1	6"	175.28'	2.00%	PVC
PS2	6"	173.78'	2.00%	PVC
PS3	6"	47.36'	1.76%	PVC
PS4	6"	69.80'	1.75%	PVC
PS5	6"	44.91'	1.75%	PVC
PS6	6"	12.27'	1.75%	PVC
PS6.1	6"	7.08'	1.75%	PVC
PS6.2	6"	20.27'	1.75%	PVC
PS6.3	6"	17.98'	1.75%	PVC
PS6.4	6"	7.00'	1.75%	PVC
PS6.5	4"	2.01'	1.75%	PVC
PS7	6"	7.64'	1.75%	PVC
PS8	6"	8.79'	1.75%	PVC
PS9	6"	13.49'	1.75%	PVC
PS10	6"	5.18'	1.75%	PVC
PS11	4"	2.00'	1.45%	PVC



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMead, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8268

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01 02/21/2024 CITY COMMENTS

ISSUE DATE:

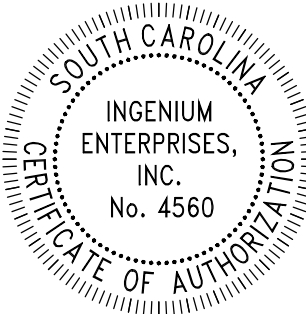
PERMIT/BID 12/14/2023
PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA

PANDA PROJECT #: D26523
PANDA STORE #: 3877
CIVIL PROJECT #: 230013



INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF
AUTHORITY #4560



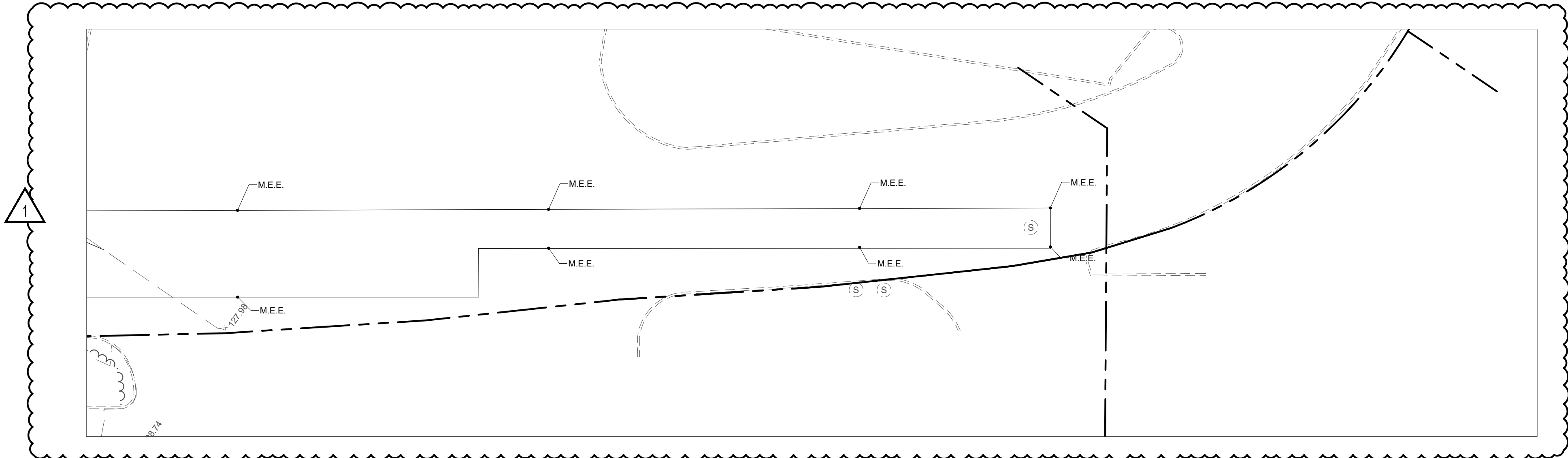
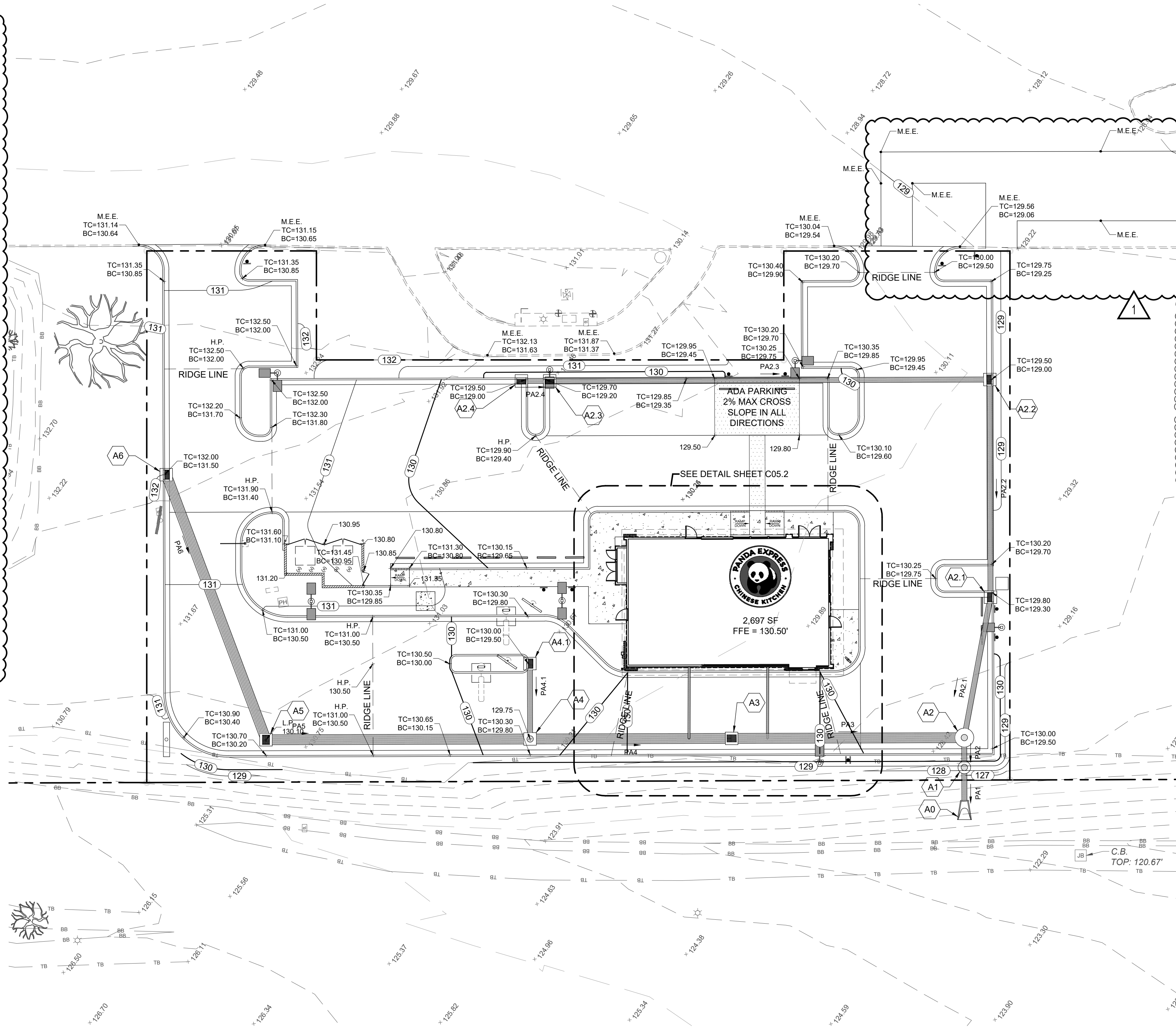
PIPE PROFILES IV

C04.11

PANDA HOME

STORM STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE TYPE	RIM ELEVATION	INVERT IN	INVERT OUT
A0	FLARED END SECTION DETAIL 4, SHEET C04.6	123.43	121.37 (PA1)	
A1	BARRACUDA WQ UNIT DETAIL 1, SHEET C04.6	128.67	121.45 (PA2)	121.45 (PA1)
A2	OUTLET CONTROL STRUCTURE DETAIL 2, SHEET C04.4	130.00	121.50 (PA3)	121.50 (PA2)
A2.1	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	129.30	121.73 (PA2.2)	121.73 (PA2.1)
A2.2	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	129.00	122.07 (PA2.3)	122.07 (PA2.2)
A2.3	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	129.20	122.78 (PA2.4)	122.77 (PA2.3)
A2.4	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	129.00		122.82 (PA2.4)
A3	DROP INLET DETAIL 1, SHEET C04.7	129.60	121.87 (PA4)	121.87 (PA3)
A4	JUNCTION BOX DETAIL 3, SHEET C04.4	129.75	122.19 (PA5) 123.69 (PA4.1)	122.19 (PA4)
A4.1	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	130.06		123.81 (PA4.1)
A5	DROP INLET DETAIL 1, SHEET C04.7	130.10	123.26 (PA6)	122.61 (PA5)
A6	CURB GRATE INLET DETAIL 1, SHEETS C04.3 & C04.4	131.50		123.71 (PA6)

STORM PIPE TABLE				
PIPE NAME	SIZE	LENGTH	SLOPE	MATERIAL
PA1	18"	16.59'	0.50%	HDPE
PA2	18"	9.51'	0.50%	HDPE
PA2.1	18"	45.50'	0.50%	HDPE
PA2.2	18"	69.31'	0.50%	HDPE
PA2.3	18"	140.17'	0.50%	HDPE
PA2.4	18"	9.00'	0.50%	HDPE
PA3	36"	74.07'	0.50%	HDPE
PA4	36"	64.18'	0.50%	HDPE
PA4.1	18"	24.00'	0.50%	HDPE
PA5	36"	84.09'	0.50%	HDPE
PA6	36"	90.19'	0.50%	HDPE



GRADING & DRAINAGE LEGEND	
GRADING / DRAINAGE	LINETYPE/SYMBOL
GRADE	1000
PROPOSED SPOT ELEVATION	1000.00
MATCH EXISTING SPOT	M.E.E.
MATCH EXISTING SPOT W/ ESTIMATED EXISTING ELEVATION	M.E.E. 1000.00
STORM DRAIN	
HEADWALL (HW) / FLARED END SECTION (FES)	
DROP INLET (GRATE)	
DROP INLET (GRATE AND HOOD)	
JUNCTION BOX (JB) / OCS	
CATCH BASIN (SINGLE WING)	
CATCH BASIN (DOUBLE WING)	
PEDESTAL TOP	
STORM STRUCTURE NUMBER	A3
SLOPE ARROW	

GRADING NOTES SEE SHEET C01.1

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING FEATURES, INCLUDING BUT NOT LIMITED TO, UTILITIES, EXISTING IMPROVEMENTS, ETC. CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY

South Carolina 811
Call 811 Before you Dig

24-HOUR CONTACT:
CLAY WORTHY
(602) 931-6540

North Arrow and Scale Bar: 1" = 20'



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8268

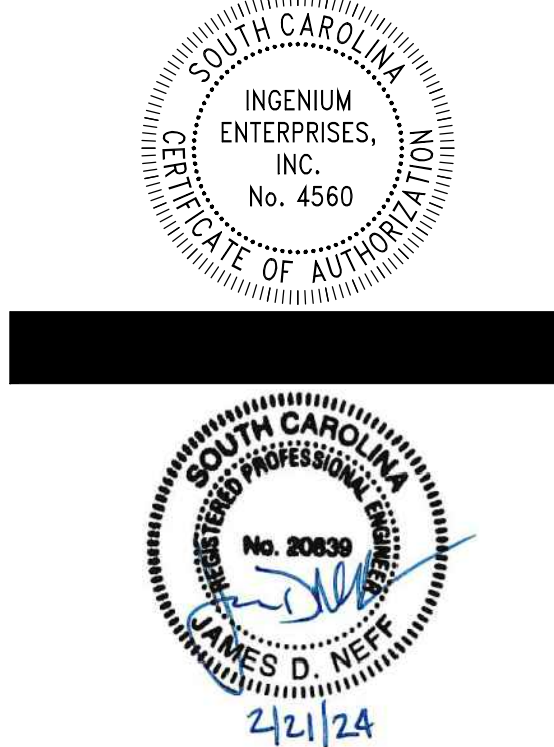
All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:
01 02/21/2024 CITY COMMENTS

ISSUE DATE:
PERMIT/BID 12/14/2023
PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA
PANDA PROJECT #: D26523
PANDA STORE #: 3877
CIVIL PROJECT #: 230013

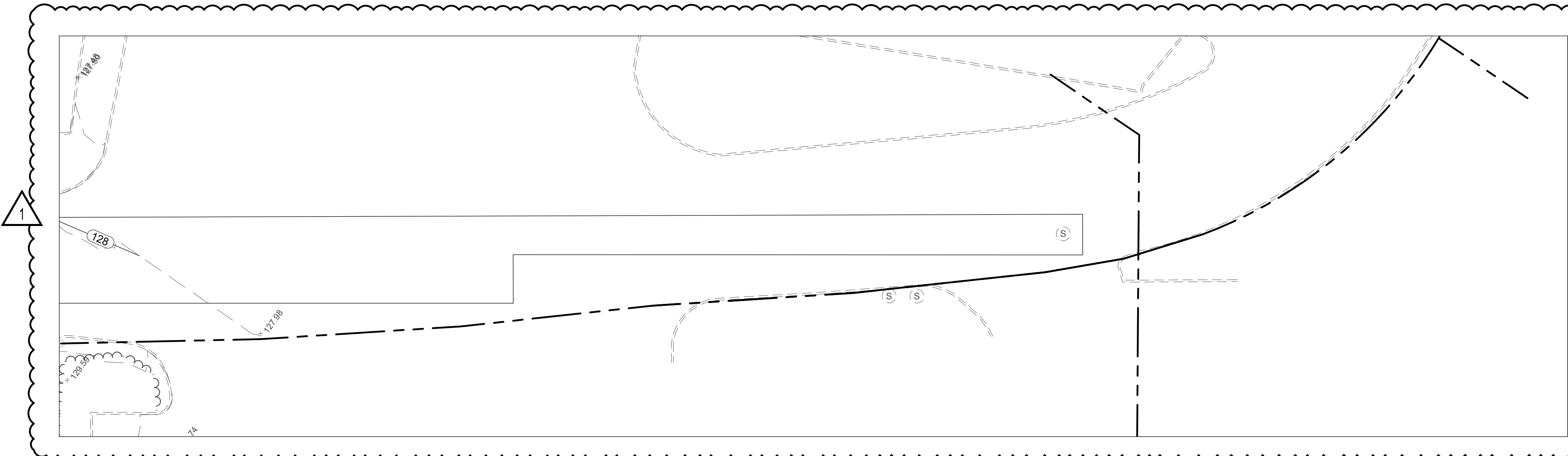
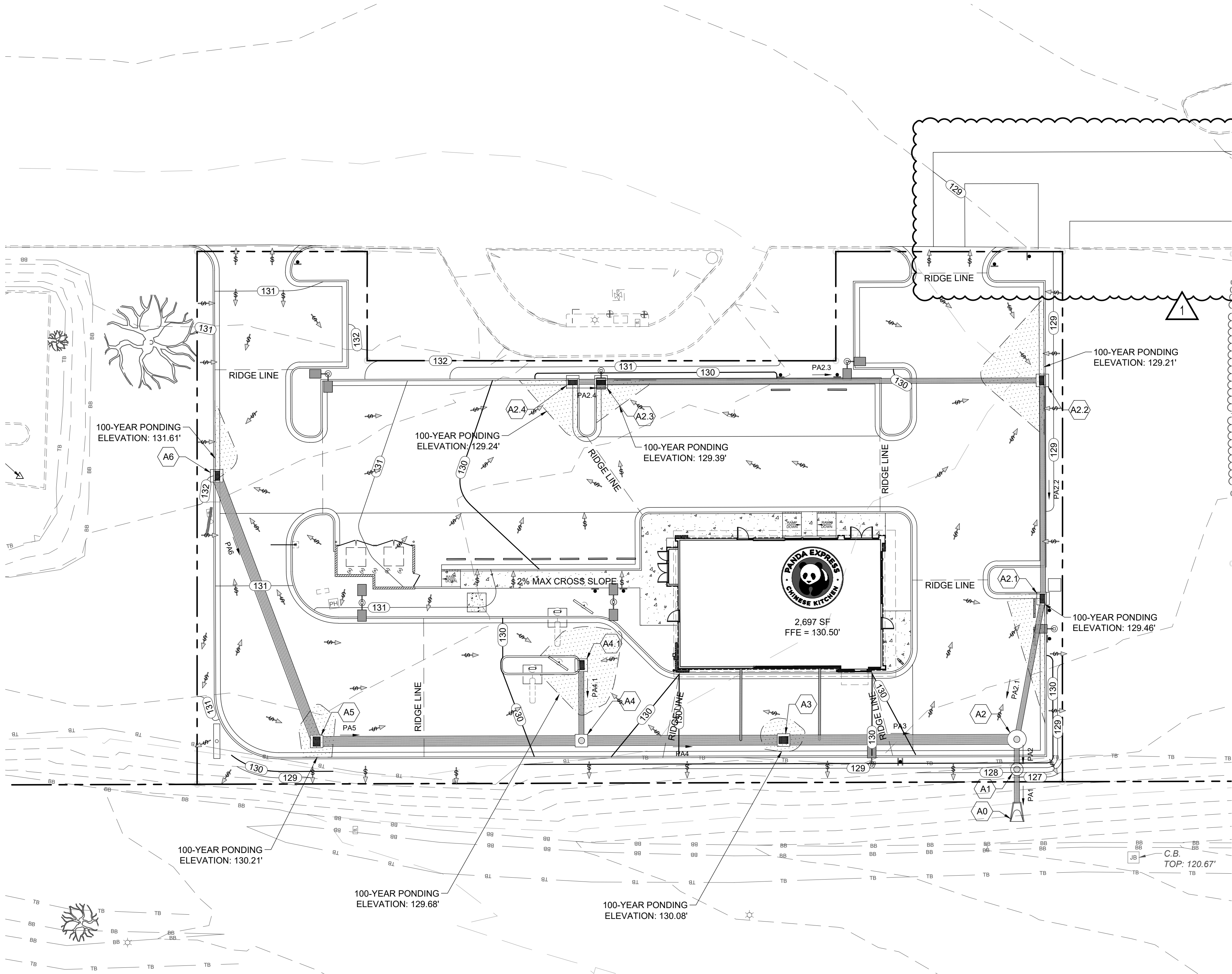
INGENIUM
INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF AUTHORITY #4560



GRADING PLAN
C05.0
PANDA HOME

ROOF DRAINS STRUCTURE TABLE			
STRUCTURE NAME	STRUCTURE TYPE	INVERT IN	INVERT OUT
R0	INSERT-A-TEE DETAIL 2, SHEET C04.6	-0.33 (PR1)	
R1	BUILDING STUB		-0.33 (PR1)
R2	INSERT-A-TEE DETAIL 2, SHEET C04.6	-0.33 (PR3)	
R3	BUILDING STUB		-0.33 (PR3)

ROOF DRAINS PIPE TABLE				
PIPE NAME	SIZE	LENGTH	SLOPE	MATERIAL
PR1	8"	22.70'	0.00%	PVC
PR3	8"	22.65'	0.00%	PVC



GRADING & DRAINAGE LEGEND

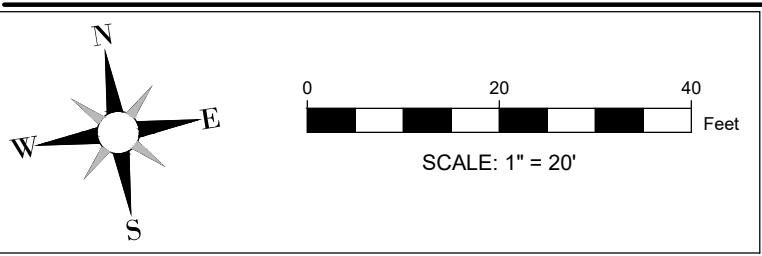
GRADING / DRAINAGE	LINETYPE/SYMBOL
GRADE	1000
PROPOSED SPOT ELEVATION	1000.00
MATCH EXISTING SPOT	M.E.E.
MATCH EXISTING SPOT W/ ESTIMATED EXISTING ELEVATION	M.E.E. 1000.00
STORM DRAIN	
HEADWALL (HW) / FLARED END SECTION (FES)	
DROP INLET (GRATE)	
DROP INLET (GRATE AND HOOD)	
JUNCTION BOX (JB) / OCS	
CATCH BASIN (SINGLE WING)	
CATCH BASIN (DOUBLE WING)	
PEDESTAL TOP	
STORM STRUCTURE NUMBER	A3
SLOPE ARROW	

GRADING NOTES SEE SHEET C01.1

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING FEATURES, INCLUDING BUT NOT LIMITED TO, UTILITIES, EXISTING IMPROVEMENTS, ETC. CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY



24-HOUR CONTACT:
CLAY WORTHY
(602) 931-6540



PANDA EXPRESS, INC.

1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770

TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8268

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01 02/21/2024 CITY COMMENTS

ISSUE DATE:

PERMIT/BID 12/14/2023

PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA

PANDA PROJECT #: D26523

PANDA STORE #: 3877

CIVIL PROJECT #: 230013



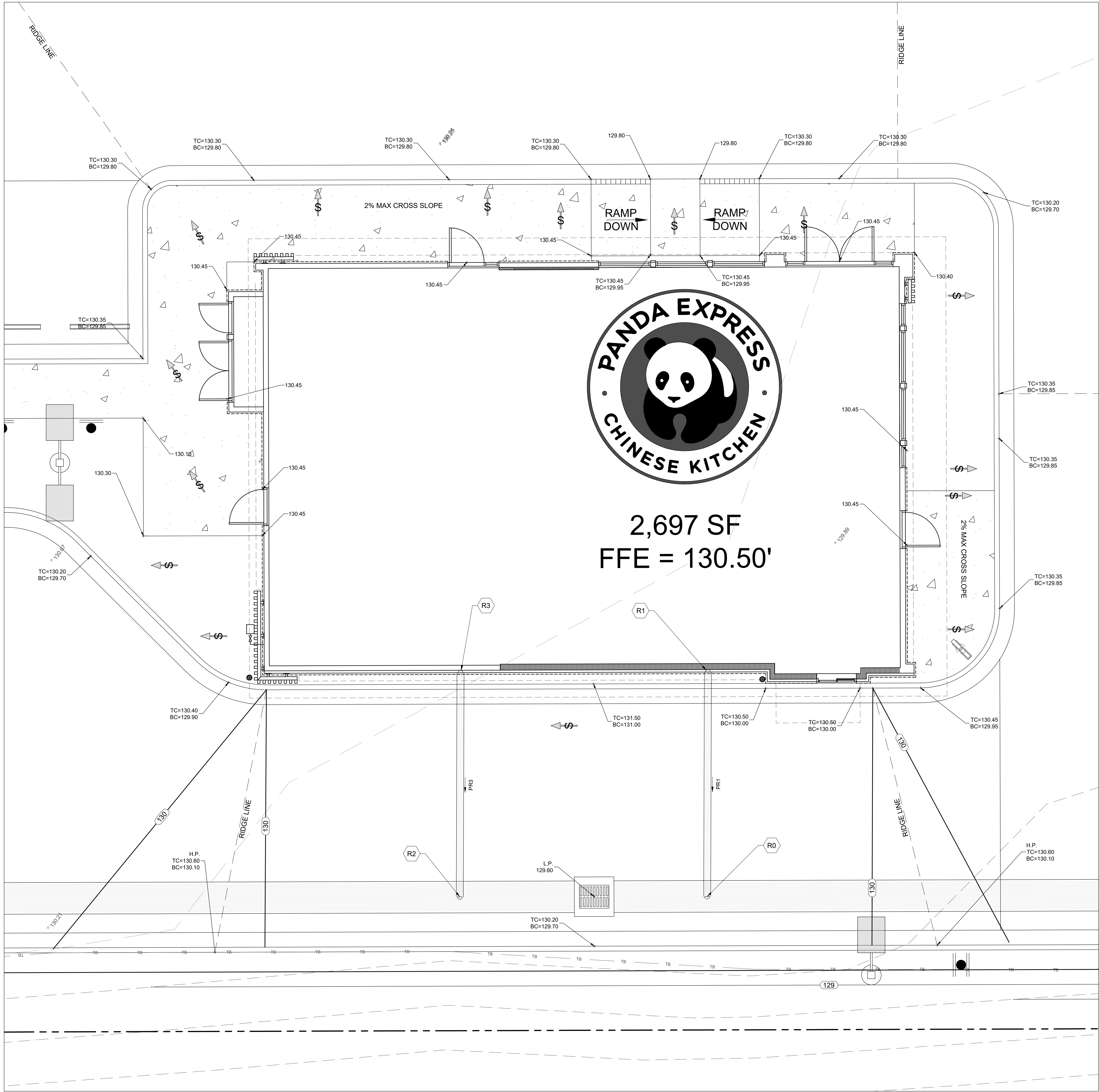
INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF
AUTHORITY #4560



DRAINAGE PLAN

C05.1

PANDA HOME



GRADING & DRAINAGE LEGEND	
GRADING / DRAINAGE	LINETYPE/SYMBOL
GRADE	1000
PROPOSED SPOT ELEVATION	1000.00
MATCH EXISTING SPOT	M.E.E.
MATCH EXISTING SPOT W/ ESTIMATED EXISTING ELEVATION	M.E.E. 1000.00
STORM DRAIN	
HEADWALL (HW) / FLARED END SECTION (FES)	
DROP INLET (GRATE)	
DROP INLET (GRATE AND HOOD)	
JUNCTION BOX (JB) / OCS	
CATCH BASIN (SINGLE WING)	
CATCH BASIN (DOUBLE WING)	
PEDESTAL TOP	
STORM STRUCTURE NUMBER	A3
SLOPE ARROW	

ROOF DRAINS STRUCTURE TABLE			
STRUCTURE NAME	STRUCTURE TYPE	INVERT IN	INVERT OUT
R0	INSERT-A-TEE DETAIL 2, SHEET C04.6	-0.33 (PR1)	
R1	BUILDING STUB INSERT-A-TEE DETAIL 2, SHEET C04.6		-0.33 (PR1)
R2	BUILDING STUB INSERT-A-TEE DETAIL 2, SHEET C04.6	-0.33 (PR3)	
R3	BUILDING STUB		-0.33 (PR3)

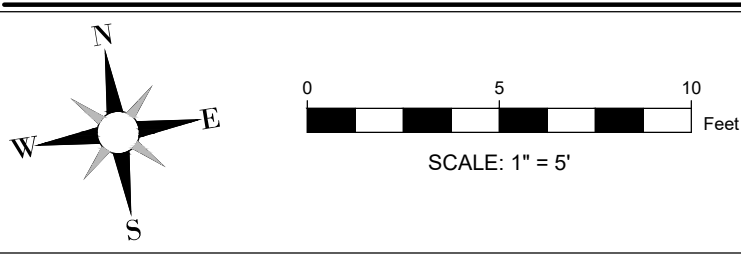
ROOF DRAINS PIPE TABLE				
PIPE NAME	SIZE	LENGTH	SLOPE	MATERIAL
PR1	8"	22.70'	0.00%	PVC
PR3	8"	22.65'	0.00%	PVC

GRADING NOTES SEE SHEET C01.1

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING FEATURES, INCLUDING BUT NOT LIMITED TO, UTILITIES, EXISTING IMPROVEMENTS, ETC. CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY



24-HOUR CONTACT:
CLAY WORTHY
(602) 931-6540



PANDA EXPRESS, INC.

1683 WALNUT GROVE AVE.
ROSEMAD, CALIFORNIA 91770

TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8268

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01 02/21/2024 CITY COMMENTS

ISSUE DATE:

PERMIT/BID 12/14/2023

PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA

PANDA PROJECT #: D26523

PANDA STORE #: 3877

CIVIL PROJECT #: 230013



INGENIUM ENTERPRISES, INC.

5991 PARKWAY NORTH BLVD.

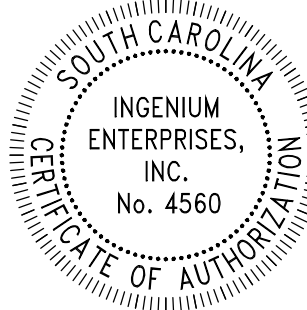
SUITE A

CUMMING, GEORGIA 30040

PHONE: (770) 437-8850

SOUTH CAROLINA CERT. OF


AUTHORITY #4560



GRADING AND DRAINAGE
DETAILS I

C05.2

PANDA HOME



Florence County

NPDES Storm Water Construction Compliance Inspection Report

(For Sites Covered Under CGP SCR10000)

Permittee Inspection Report

Primary

Secondary

Project Name: PANDA EXPRESS

NPDES Coverage #: SCR10

Permittee Name: CLAY WORTHY

Permittee Address: 1683 WALNUT GROVE AVE
ROSEMEAD, CA 91770

Inspection Date/Time:

Inspector Name and Title:

Qualifications:

Contact #:

Last Inspection Date:

Weather during inspection:

Section 1:
For each question below, mark the corresponding box: Yes, No, N/A. For all items marked "No", note Ref letter, and provide the Corrective action and Location of the deficiency, the original date noted, and the date it was corrected. For all items marked N/A, provide an explanation as to why this question is not applicable to your project.
NOTE: Reference letters may be used multiple times for different corrective actions and locations.

Ref	Storm Water Plans and Related Documents	Yes	No	N/A
A	Are coverage letter, NOI, approvals, certifications, and a copy of the NPDES Construction General Permit (CGP) on site? 3.1.1.H.V.			
B	Is the OS-SWPPP available on site or is its location posted as required? 3.1.6.			
C	Is there a rain gauge on site (or appropriate alternative) and are results being logged as required? 3.1.1.H.V.h. & 4.2.D.			
D	Are previous inspection reports on site and being conducted once every calendar week? 3.1.1.H.H. & 4.2.B.			
E	Does the OS-SWPPP match the current site conditions and are all BMPs identified? 3.1.1.H.III.			
F	Have all areas of the site that are disturbed or used for storage of materials exposed to precipitation been inspected? 4.2.A.I.			
G	Is the construction sequence being followed? 3.1.1.E. & 3.2.3.			
Ref	Corrective Actions and Locations 4.2.F.	Date Inspected	Date Corrected	

DHEC 0496 (03/2013)

	Stormwater Pollutant Controls	Yes	No	N/A
H	Have erosion and sediment controls that are identified in the OS-SWPPP been installed, maintained, and operating as designed? 3.1.1.E., 3.2.6., & 4.2.F			
I	Have stormwater controls that are identified in the OS-SWPPP been installed, maintained, and operating as designed? 4.2.F			
J	Do all BMPs provided operate as designed and prove to be adequate for the location they are installed? 4.2.F.			
K	Do all areas have the necessary BMPs to control pollutants? 4.2.F			
L	Are the BMPs required by the OS-SWPPP appropriate for the existing Site conditions? 3.2.6 & 4.2.F.			
M	Soil Stabilization: Implemented and maintained as required? 3.1.1.E.			
N	Vehicle Tracking: Installed and maintained as shown on the OS-SWPPP? 3.1.1.E.			
O	Have all stormwater conveyance systems been inspected for evidence of, or potential for, pollutants entering these systems? 4.2.A.II.			
Ref	Corrective Actions and Locations 4.2.F.	Date Inspected	Date Corrected	

	Non-storm Water Pollutant Controls	Yes	No	N/A
P	Concrete, Stucco, Paint (etc) Washouts: Located, installed and maintained? 3.1.1.E. & 3.2.10.D			
Q	Solid & Hazardous Wastes: Are trash, debris and hazardous materials properly managed? 3.1.1.E., 3.2.5 & 3.2.10.E.			
R	Sanitary Waste: Are portable toilets properly located and maintained? 3.1.1.E. & 3.2.10.D.			
Ref	Corrective Actions and Locations 4.2.F.	Date Inspected	Date Corrected	

DHEC 0496 (03/2013)

For any items listed in this section, a full description of the off site sedimentation is required. This includes, but may not be limited to: Location, estimated amount of sediment that has left the site, apparent cause of the sedimentation, and what corrective actions need to be taken to prevent this from recurring.

	Off Site Sedimentation	Yes	No	N/A
S	Are sediment and/or other pollutants controlled from leaving the site? 3.1.1.E & 4.2.F.			
T	Have BMP's kept sediment and other pollutants out of Waters of the State and US? 4.2.F.			
U	Is tracking of sediment onto adjacent streets controlled? 4.2.A.V.			
Ref	Corrective Actions and Locations 4.2.F.	Date Inspected	Date Corrected	

Section 2:
Complete the following sections as necessary to comply with the permit. If weather information is kept on a separate log, it is not necessary to place on inspection report. If there are no discharges during inspection, state "No Discharges" in this section. **ALL INSPECTION REPORTS ARE TO BE SIGNED BY INSPECTOR.**

Comments:

Weather information since last inspection including: date and time of event, duration, and amount of precipitation 4.2.D:

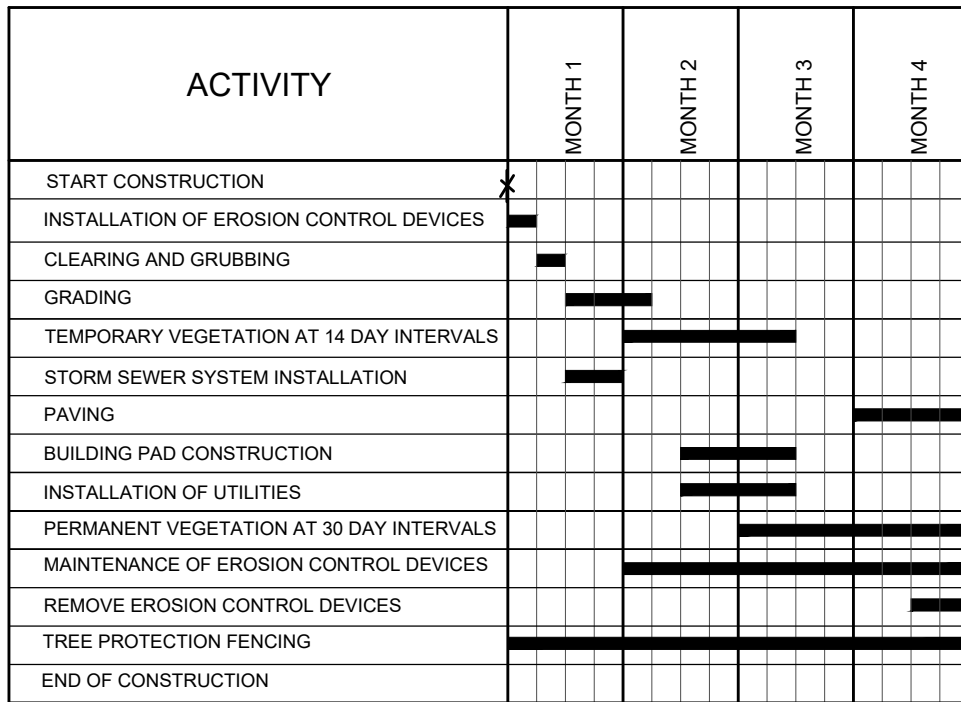
Description of discharges occurring during inspection 4.2.F:

Inspector Signature:

I certify that the information contained in this report is true and accurate to the best of my ability. I understand that providing false information may result in loss of certification and/or penalties.

DHEC 0496 (03/2013)

EROSION CONTROL ACTIVITY SCHEDULE



SCHEDULE IS REPRESENTATIVE FOR OVERALL SITE CONSTRUCTION. THE ENGINEER MUST BE NOTIFIED, IF THIS SCHEDULE IS DEVIATED FROM BY THE CONTRACTOR.
ANTICIPATED START DATE: 08/01/2024
ANTICIPATED COMPLETION DATE: 12/01/2024




PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8268

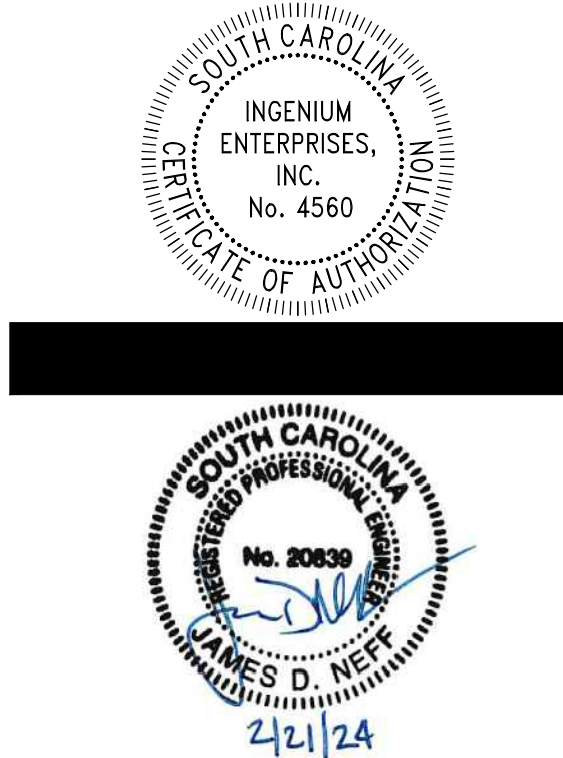
All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:
01 02/21/2024 CITY COMMENTS

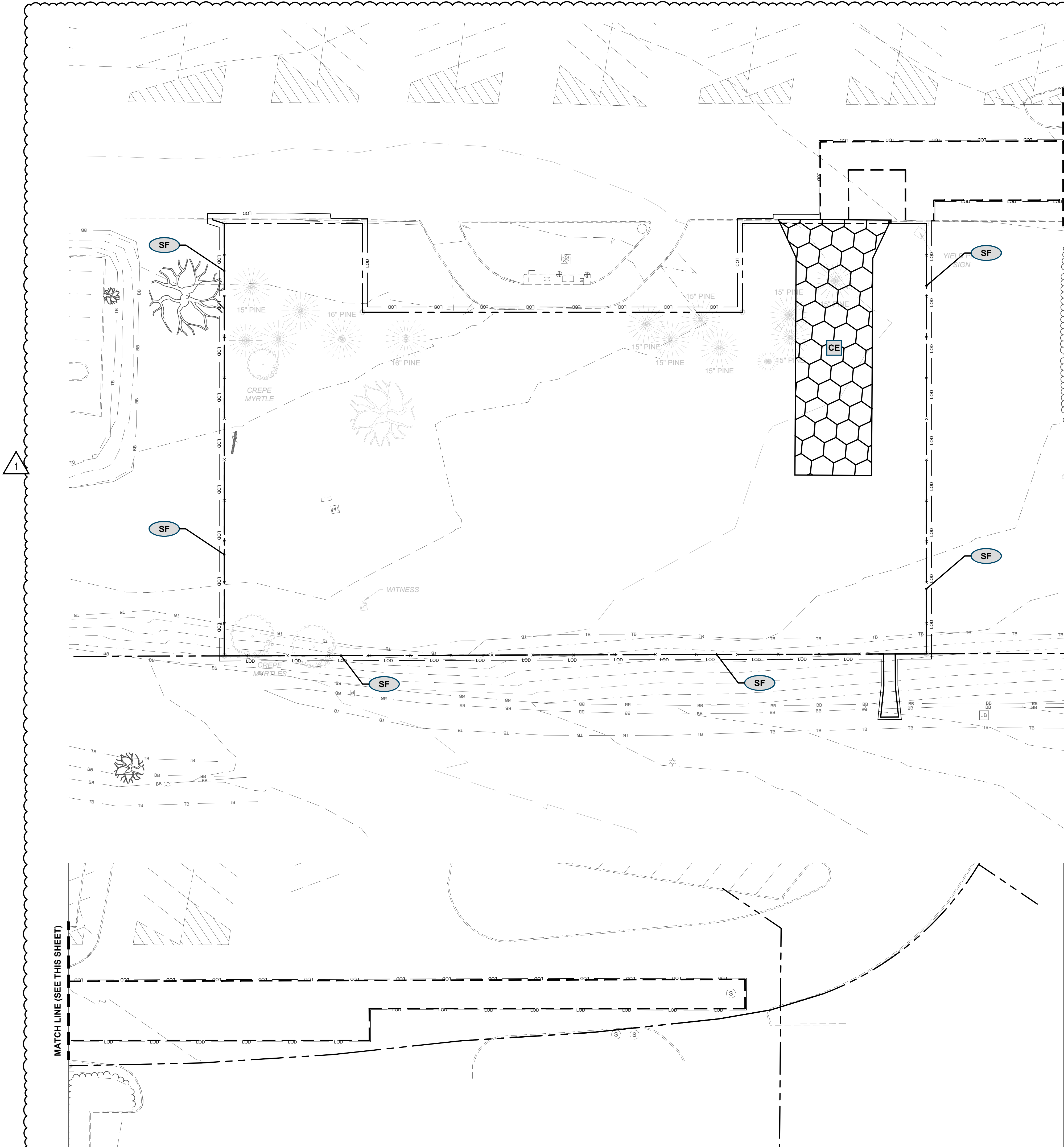
ISSUE DATE:
PERMIT/BID 12/14/2023
PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA
PANDA PROJECT #: D26523
PANDA STORE #: 3877
CIVIL PROJECT #: 230013

**INGENIUM**
INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF AUTHORITY #4560



SWPPP
C06.0
PANDA HOME



ESPC LEGEND	
ESPC / BMP	LINETYPE/SYMBOL
CONSTRUCTION ENTRANCE (CE)	
SILT FENCE - (SF)	
SILT FENCE - DOUBLE (SF)	
INLET PROTECTION (IP)	
OUTLET PROTECTION (OP)	
DUST CONTROL-DISTURBED AREAS	
TEMPORARY SEEDING	
PERMANENT SEEDING	
MULCHING	
SODDING	
SLOPE STABILIZATION	
TREE PROTECTION	
SEE LANDSCAPE/TREE PROTECTION PLANS FOR LEGEND SPECIFIC TO THOSE SHEETS	

ESPC NOTES

GENERAL

- EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL MEASURES AND PRACTICES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AT THE EXPENSE OF THE CONTRACTOR.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO LAND DISTURBING ACTIVITIES.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ANY AMENDMENT TO THE EROSION CONTROL PLANS WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- THE PERMITEE IS ONLY RESPONSIBLE FOR THE FOR THE INSTALLATION AND MAINTENANCE OF STORM WATER MANAGEMENT DEVICES PRIOR TO STABILIZATION OF THE SITE AND NOT THE OPERATION AND MAINTENANCE OF SUCH STRUCTURES AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
- EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- SEE GRADING & DRAINAGE NOTES.

SLOPES AND DISTURBED AREA STABILIZATION

- CONCENTRATED FLOW AREAS AND ALL SLOPES 2H:1V OR STEEPER SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKET.
- ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN (7) DAYS OF THEIR CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT. NO EXPOSED GRADE WILL BE LEFT UNSTABLE FOR MORE THAN 7 DAYS.
- PERMANENT GRASSING AND LANDSCAPING OF DISTURBED AREAS SHALL BE COMPLETED AS QUICKLY AS POSSIBLE. TEMPORARY STABILIZATION BY MULCHING AND/OR TEMPORARY SEEDING WILL BE REQUIRED IN THE EVENT OF PROJECT DELAYS.
- WIRE MESH REINFORCED SEDIMENT BARRIERS SHALL BE PLACED AT THE TOE OF ALL FILL SLOPES.

DRAINAGE

- ALL DRAINAGE STRUCTURES SHALL BE EROSION PROOFED.

MAINTENANCE AND INSPECTIONS

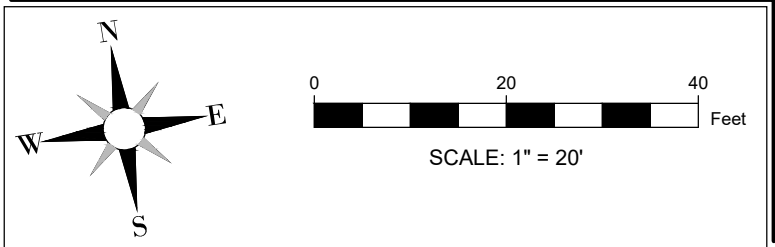
- SEDIMENT CONTROL DEVICES MUST BE INSPECTED DAILY AND CHECKED AFTER EACH STORM EVENT AND CLEANED OR REPLACED WHEN THEY REACH 1/3 OF DESIGN CAPACITY.
- MAINTENANCE OF ALL SOIL AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR.

BASED IN THE WEB SOIL SURVEY INFORMATION, ALL SOILS AT THIS SITE ARE CLASSIFIED AS LaB LAKELAND SAND, 0-6% SLOPES, AND WgB WAGRAM SANDS, 0-6% SLOPES

TOTAL DISTURBED AREA THIS PHASE: 0.00 AC.



**24-HOUR CONTACT:
CLAY WORTHY
(602) 931-6540**



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8268

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01	02/21/2024	CITY COMMENTS
----	------------	---------------

ISSUE DATE:

PERMIT/BID	12/14/2023
PERMIT/BID REVISION	02/21/2024

DRAWN BY: DA

PANDA PROJECT #: D26523
PANDA STORE #: 3877
CIVIL PROJECT #: 230013

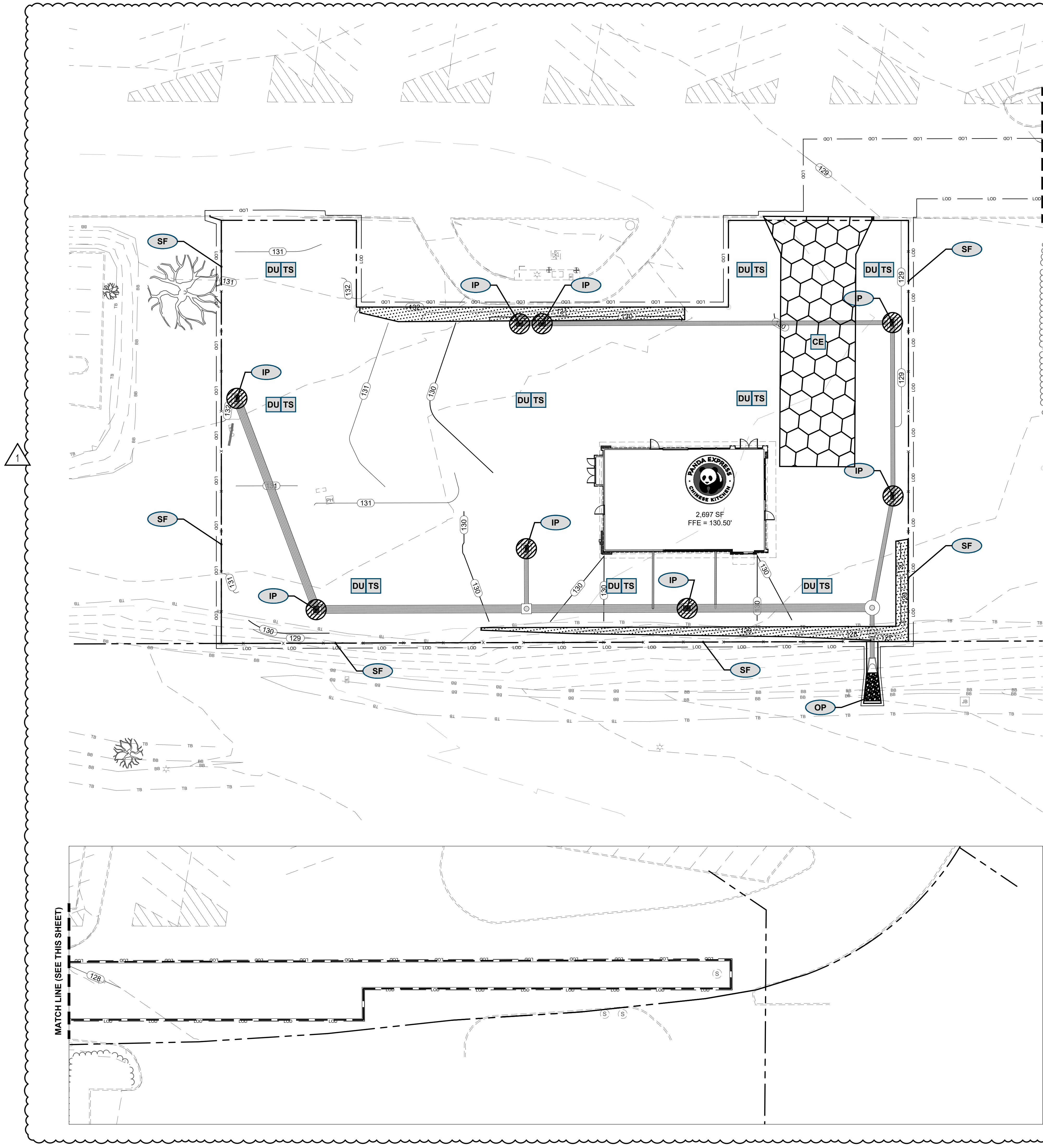
INGENIUM
INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF AUTHORITY #4560



ESPC PLAN
CLEARING PHASE

C06.1

PANDA HOME



ESPC LEGEND	
ESPC / BMP	LINETYPE/SYMBOL
CONSTRUCTION ENTRANCE (CE)	
SILT FENCE - (SF)	
SILT FENCE - DOUBLE (SF)	
INLET PROTECTION (IP)	
OUTLET PROTECTION (OP)	
DUST CONTROL-DISTURBED AREAS	
TEMPORARY SEEDING	
PERMANENT SEEDING	
MULCHING	
SODDING	
SLOPE STABILIZATION	
TREE PROTECTION	
SEE LANDSCAPE/TREE PROTECTION PLANS FOR LEGEND SPECIFIC TO THOSE SHEETS	

ESPC NOTES

GENERAL

- EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL MEASURES AND PRACTICES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AT THE EXPENSE OF THE CONTRACTOR.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ANY AMENDMENT TO THE EROSION CONTROL PLANS WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- THE PERMITEE IS ONLY RESPONSIBLE FOR THE FOR THE INSTALLATION AND MAINTENANCE OF STORM WATER MANAGEMENT DEVICES PRIOR TO STABILIZATION OF THE SITE AND NOT THE OPERATION AND MAINTENANCE OF SUCH STRUCTURES AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
- EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- SEE GRADING & DRAINAGE NOTES.

SLOPES AND DISTURBED AREA STABILIZATION

- CONCENTRATED FLOW AREAS AND ALL SLOPES 2H:1V OR STEEPER SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKET.
- ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN (7) DAYS OF THEIR CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT. NO EXPOSED GRADE WILL BE LEFT UNSTABLE FOR MORE THAN 7 DAYS.
- PERMANENT GRASSING AND LANDSCAPING OF DISTURBED AREAS SHALL BE COMPLETED AS QUICKLY AS POSSIBLE. TEMPORARY STABILIZATION BY MULCHING AND/OR TEMPORARY SEEDING WILL BE REQUIRED IN THE EVENT OF PROJECT DELAYS.
- WIRE MESH REINFORCED SEDIMENT BARRIERS SHALL BE PLACED AT THE TOE OF ALL FILL SLOPES.

DRAINAGE

1. ALL DRAINAGE STRUCTURES SHALL BE EROSION PROOFED.

MAINTENANCE AND INSPECTIONS

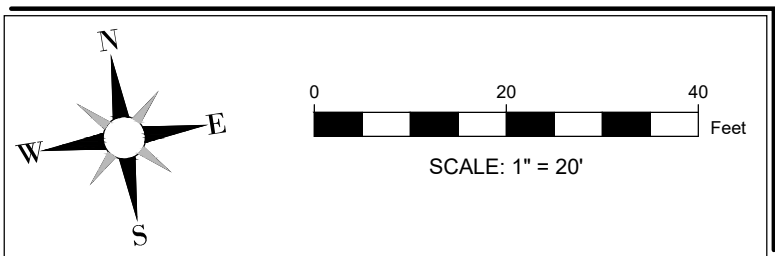
- SEDIMENT CONTROL DEVICES MUST BE INSPECTED DAILY AND CHECKED AFTER EACH STORM EVENT AND CLEANED OR REPLACED WHEN THEY REACH 1/3 OF DESIGN CAPACITY.
- MAINTENANCE OF ALL SOIL AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR.

BASED IN THE WEB SOIL SURVEY INFORMATION, ALL SOILS AT THIS SITE ARE CLASSIFIED AS LaB LAKELAND SAND, 0-6% SLOPES, AND WgB WAGRAM SANDS, 0-6% SLOPES

TOTAL DISTURBED AREA THIS PHASE: 1.17 AC.



**24-HOUR CONTACT:
CLAY WORTHY
(602) 931-6540**



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8268

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

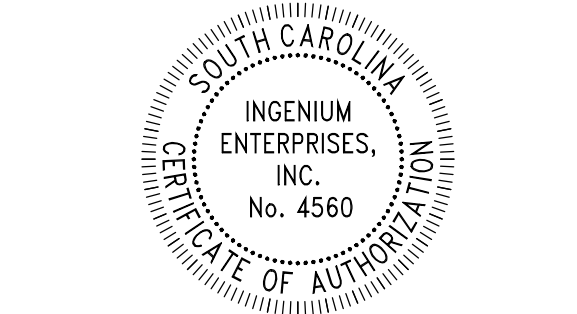
REVISIONS:	
01	02/21/2024 CITY COMMENTS

ISSUE DATE:	
PERMIT/BID	12/14/2023
PERMIT/BID REVISION	02/21/2024

DRAWN BY: DA

PANDA PROJECT #: D26523
PANDA STORE #: 3877
CIVIL PROJECT #: 230013

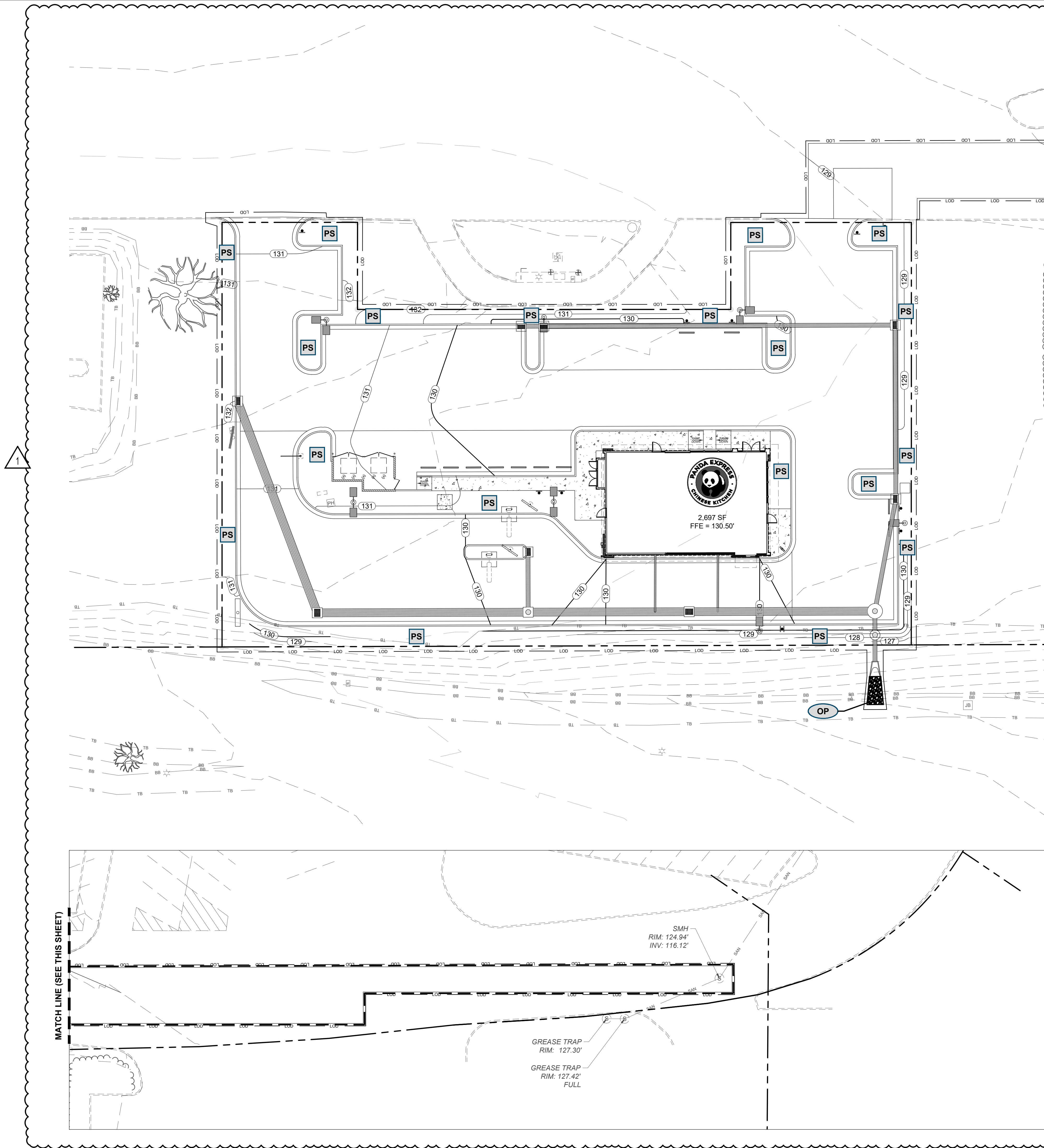
INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF
AUTHORITY #4560



ESPC PLAN
GRADING PHASE

C06.2

PANDA HOME



ESPC LEGEND	
ESPC / BMP	LINETYPE/SYMBOL
CONSTRUCTION ENTRANCE (CE)	
SILT FENCE - (SF)	
SILT FENCE - DOUBLE (SF)	
INLET PROTECTION (IP)	
OUTLET PROTECTION (OP)	
DUST CONTROL-DISTURBED AREAS	
TEMPORARY SEEDING	
PERMANENT SEEDING	
MULCHING	
SODDING	
SLOPE STABILIZATION	
TREE PROTECTION	
SEE LANDSCAPE/TREE PROTECTION PLANS FOR THOSE SHEETS	

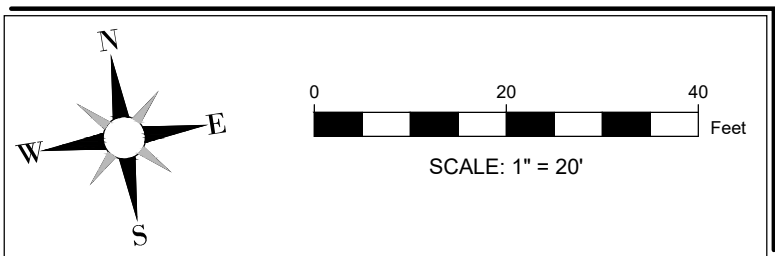
ESPC NOTES	
GENERAL	
1. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL MEASURES AND PRACTICES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AT THE EXPENSE OF THE CONTRACTOR.	
2. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.	
3. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.	
4. ANY AMENDMENT TO THE EROSION CONTROL PLANS WHICH HAVE A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.	
5. THE PERMITEE IS ONLY RESPONSIBLE FOR THE FOR THE INSTALLATION AND MAINTENANCE OF STORM WATER MANAGEMENT DEVICES PRIOR TO STABILIZATION OF THE SITE AND NOT THE OPERATION AND MAINTENANCE OF SUCH STRUCTURES AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.	
6. EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.	
7. SEE GRADING & DRAINAGE NOTES.	
SLOPES AND DISTURBED AREA STABILIZATION	
1. CONCENTRATED FLOW AREAS AND ALL SLOPES 2H:1V OR STEEPER SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKET.	
2. ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN (7) DAYS OF THEIR CONSTRUCTION.	
3. ALL DISTURBED AREAS SHALL BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT. NO EXPOSED GRADE WILL BE LEFT UNSTABLE FOR MORE THAN 7 DAYS.	
4. PERMANENT GRASSING AND LANDSCAPING OF DISTURBED AREAS SHALL BE COMPLETED AS QUICKLY AS POSSIBLE. TEMPORARY STABILIZATION BY MULCHING AND/OR TEMPORARY SEEDING WILL BE REQUIRED IN THE EVENT OF PROJECT DELAYS.	
5. WIRE MESH REINFORCED SEDIMENT BARRIERS SHALL BE PLACED AT THE TOE OF ALL FILL SLOPES.	
DRAINAGE	
1. ALL DRAINAGE STRUCTURES SHALL BE EROSION PROOFED.	
MAINTENANCE AND INSPECTIONS	
1. SEDIMENT CONTROL DEVICES MUST BE INSPECTED DAILY AND CHECKED AFTER EACH STORM EVENT AND CLEANED OR REPLACED WHEN THEY REACH 1/3 OF DESIGN CAPACITY.	
2. MAINTENANCE OF ALL SOIL AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR.	

BASED IN THE WEB SOIL SURVEY INFORMATION, ALL SOILS AT THIS SITE ARE CLASSIFIED AS LaB LAKELAND SAND, 0-6% SLOPES, AND WgB WAGRAM SANDS, 0-6% SLOPES

TOTAL DISTURBED AREA THIS PHASE: 1.17 AC.



**24-HOUR CONTACT:
CLAY WORTHY
(602) 931-6540**



PANDA EXPRESS, INC.

1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770

TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01 02/21/2024 CITY COMMENTS

ISSUE DATE:

PERMIT/BID 12/14/2023
PERMIT/BID REVISION 02/21/2024

DRAWN BY: DA

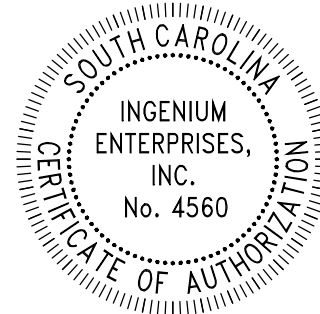
PANDA PROJECT #: D26523

PANDA STORE #: 3877

CIVIL PROJECT #: 230013



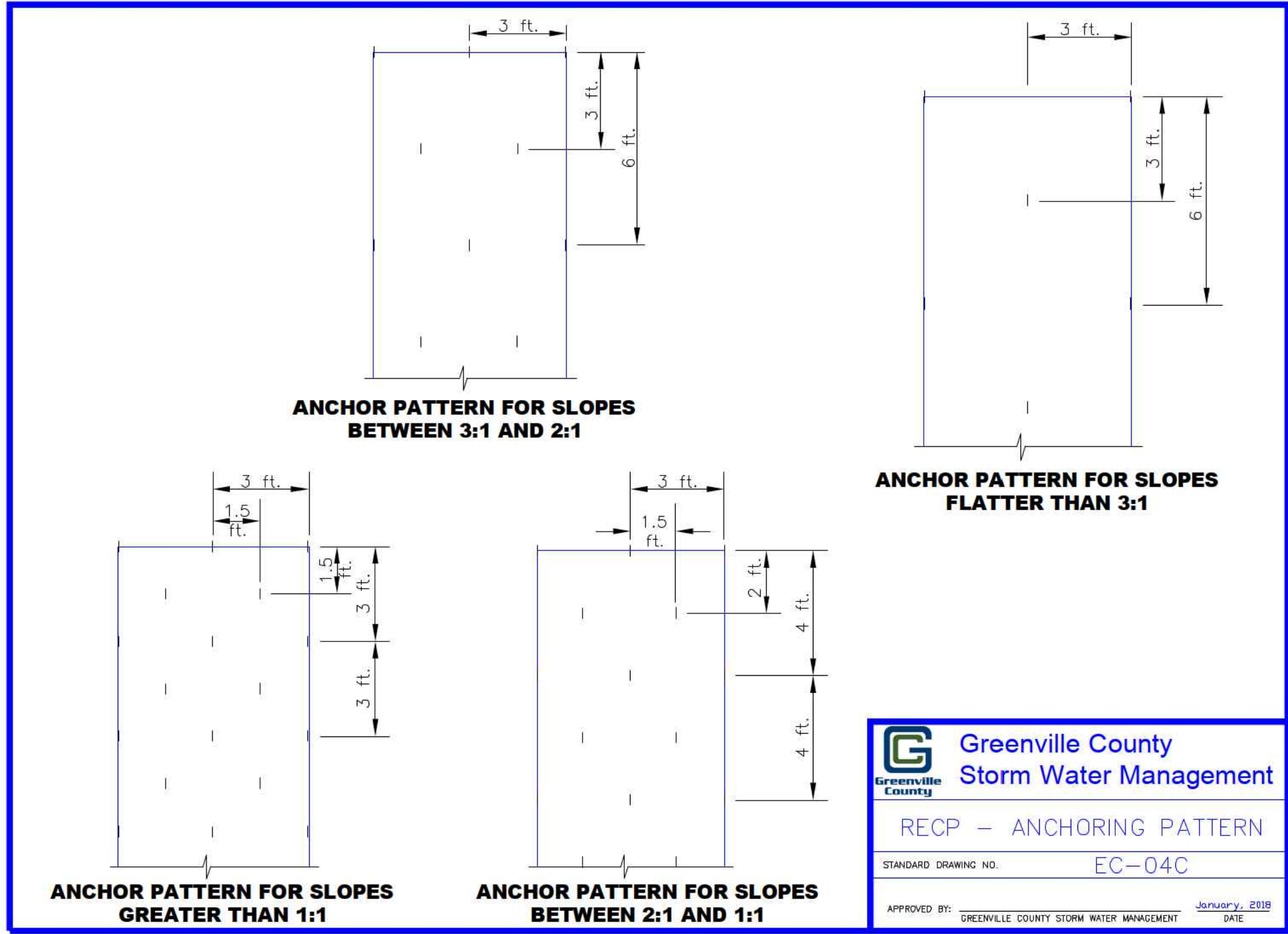
INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF
AUTHORITY #4560



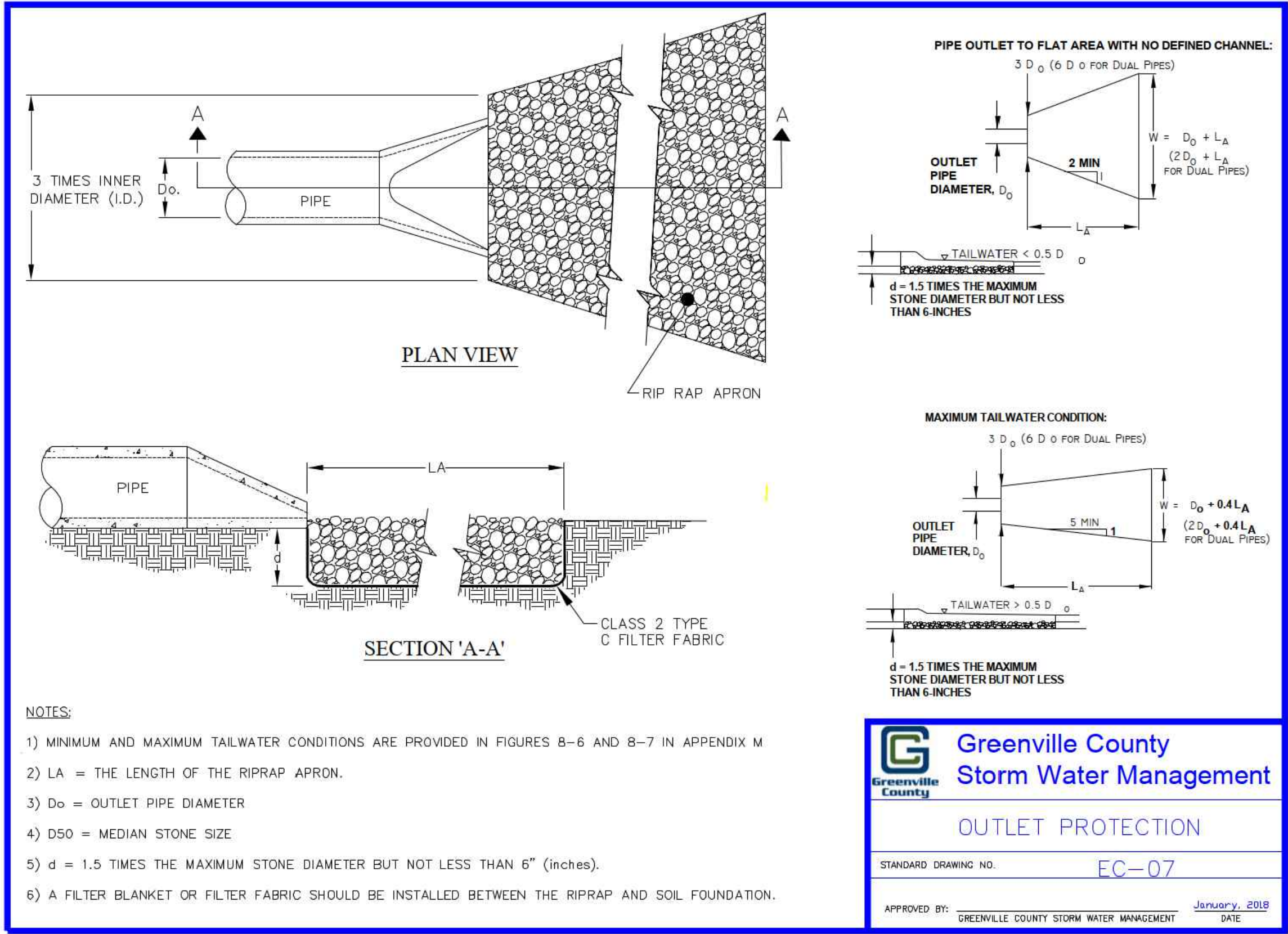
ESPC PLAN
FINAL PHASE

C06.3

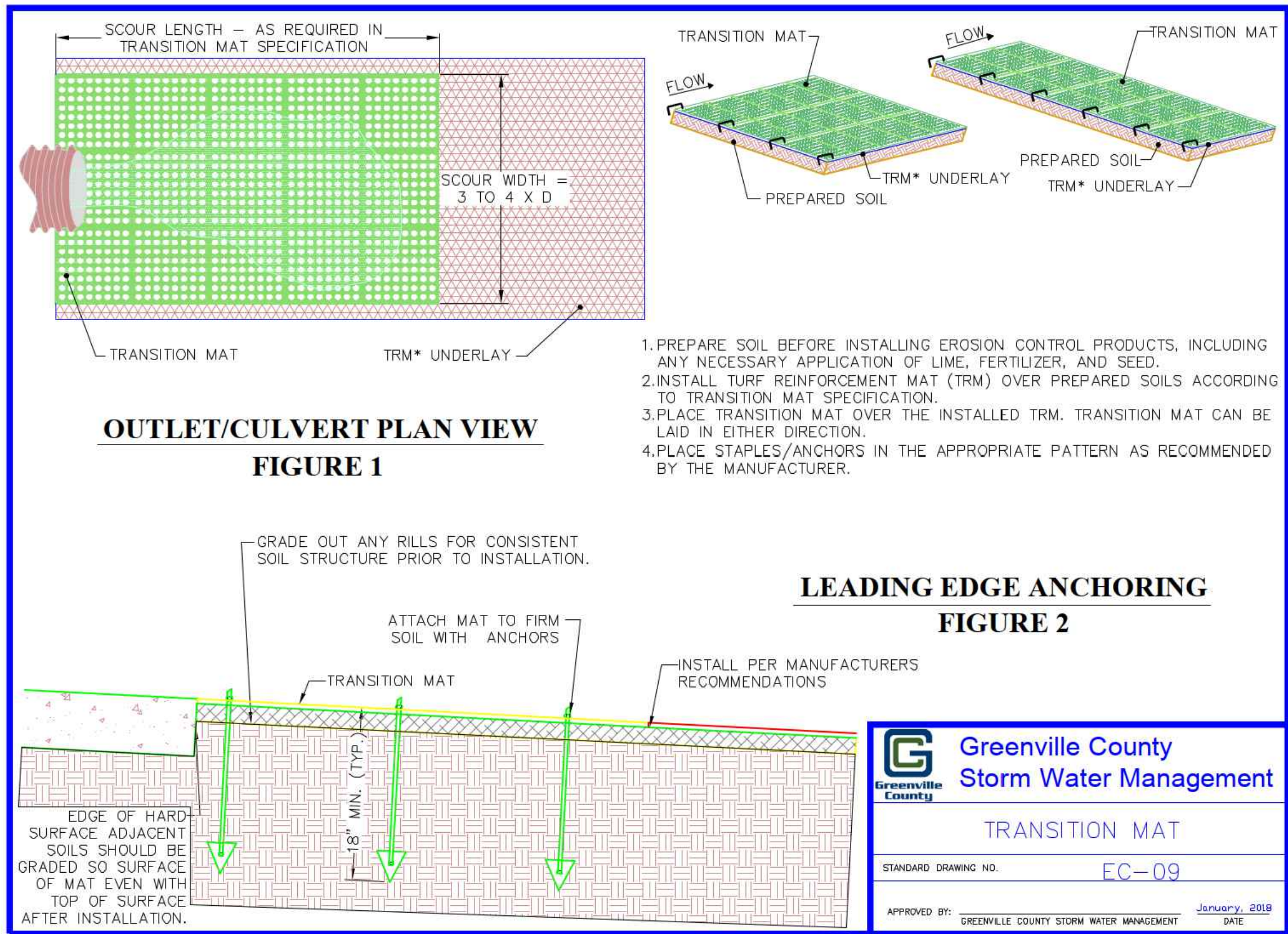
PANDA HOME



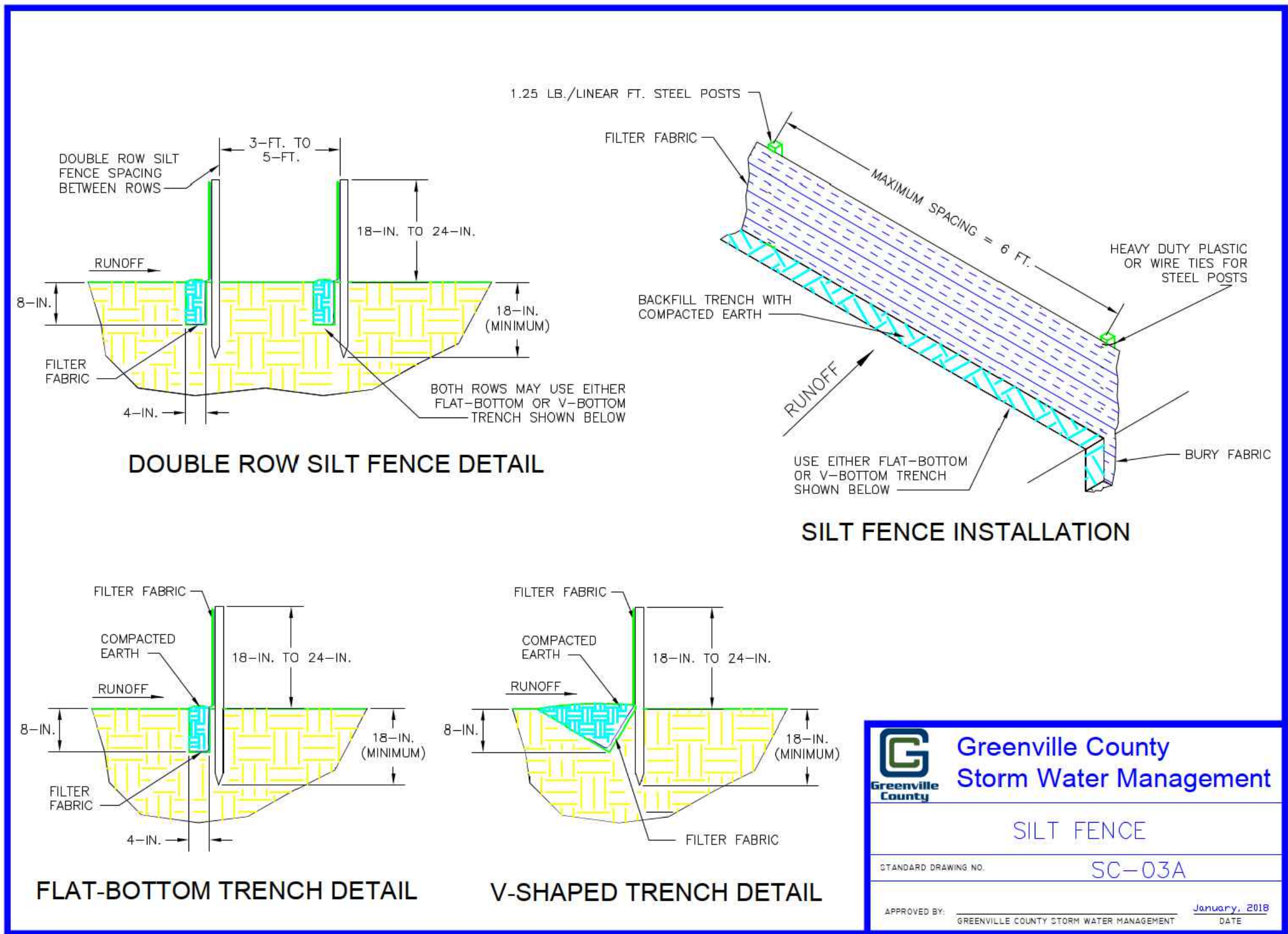
1 ANCHORING PATTERN NTS



2 OUTLET PROTECTION NTS



3 TRANSITION MAT NTS



4 SILT FENCE NTS



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMead, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8268

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01	02/21/2024	CITY COMMENTS
----	------------	---------------

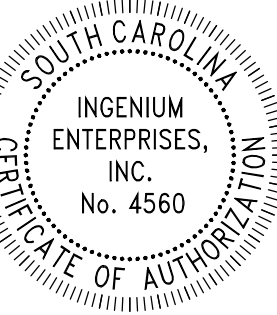
ISSUE DATE:

PERMIT/BID	12/14/2023
PERMIT/BID REVISION	02/21/2024

DRAWN BY: DA

PANDA PROJECT #: D26523
PANDA STORE #: 3877
CIVIL PROJECT #: 230013

INGENIUM
INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF AUTHORITY #4560



ESPC DETAILS II

C06.5

PANDA HOME



PANDA EXPRESS, INC.

1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770

TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01 02/21/2024 CITY COMMENTS

ISSUE DATE:

PERMIT/BID	12/14/2023
PERMIT/BID REVISION	02/21/2024

DRAWN BY: DA

PANDA PROJECT #: D26523

PANDA STORE #: 3877

CIVIL PROJECT #: 230013



INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.

SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850

SOUTH CAROLINA CERT. OF
AUTHORITY #4560



ESPC DETAILS III

C06.6

PANDA HOME



PANDA EXPRESS, INC.

1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770

TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

REVISIONS:

REVISION 1 02/21/2024

ISSUE DATE:

PERMIT/BID 12/06/2023

DRAWN BY: LDC @ WAS DESIGN, INC.

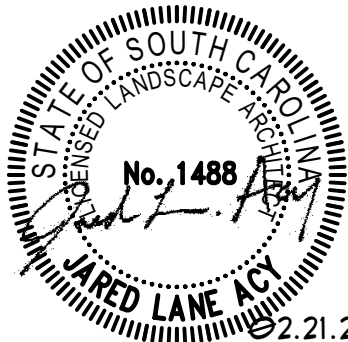
PANDA PROJECT #: D26523

PANDA STORE #: TBD

LANDSCAPE PROJECT #: -----



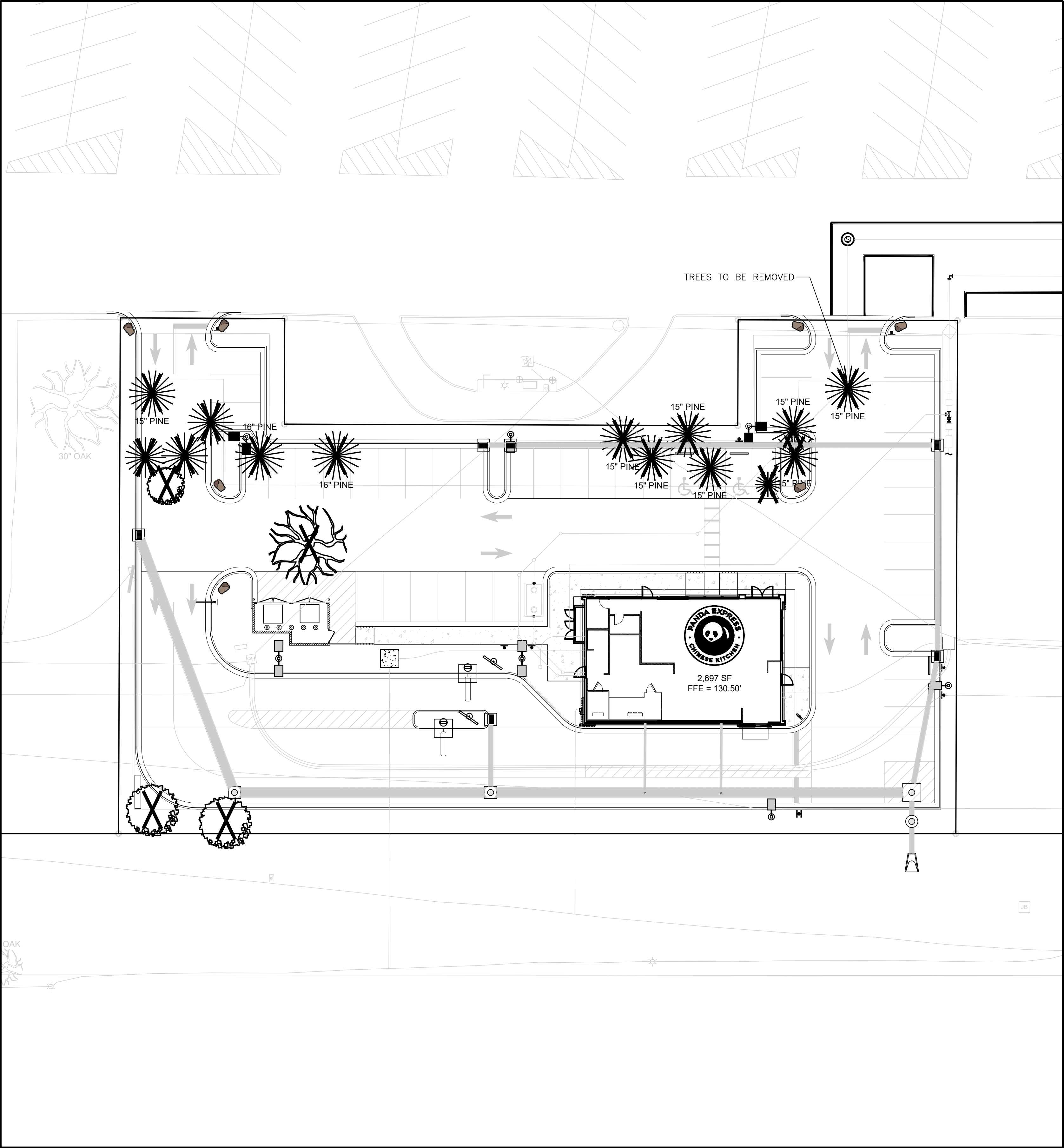
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JARED
ACY, PLA ON THE DATE ADJACENT TO THE SEAL ON THE COVER SHEET
(C01.0) USING A SHA AUTHENTICATION CODE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.



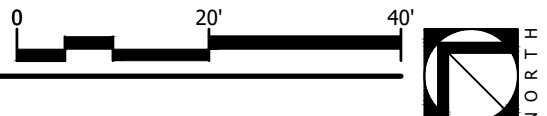
02.21.24

TREE
REMOVAL
PLAN
L01.0

PANDA HOME R4



1 TREE REMOVAL PLAN
Scale: 1"= 20'



CONTRACTOR RESPONSIBLE FOR
MAINTENANCE OF LANDSCAPE FOR 90
DAYS FOLLOWING INSTALLATION.

CONTRACTOR SHALL PROTECT ALL ITEMS
OUTSIDE LIMITS OF CONSTRUCTION
UNLESS OTHERWISE NOTED IN THE
CONSTRUCTION PLANS OR
SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL
EXISTING UTILITIES (LOCATIONS AND
ELEVATIONS) PRIOR TO STARTING
CONSTRUCTION AND ALERT ENGINEER TO
ANY DISCREPANCIES IMMEDIATELY.

24-HOUR CONTACT:
JOE CELENTO
912-272-4811

18 TREES TO BE REMOVED
23 CANOPY TREES PROPOSED



TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

1. PROVIDE 18" CONCRETE OR ROCK MULCH STRIP ADJACENT TO ALL PARKING, VERIFY WITH OWNER PRIOR TO INSTALLATION.
2. PROVIDE RIVER ROCK MULCH AROUND BASE OF TREES PLACED IN LAWN AREAS AND ALL LANDSCAPE BEDS UNLESS SPECIFICALLY PROHIBITED BY THE JURISDICTION. IF PROHIBITED, UNACCEPTABLE ALTERNATES LIMITED UNDER THE LAYING, STAKING AND MULCHING SECTION OF THE GENERAL NOTES ON SHEET L01.2 SHALL NOT BE USED.
3. CONTRACTOR SHALL PROVIDE LARGER MULCH STONE AROUND ALL DRAIN INLETS WITHIN LANDSCAPE BEDS TO PREVENT ANY MULCH FROM FALLING INTO DRAIN INLET.
4. CONTRACTOR SHALL PROVIDE MULCH MATERIAL SAMPLE TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.
5. MULCH IS THE MATERIAL APPLIED TO THE SURFACE COVERING THE GROUND TO SUPPRESS WEEDS AND ANY UNDESIRABLE PLANTS FROM GROWING.
6. CONTRACTOR SHALL EDGE ALL LANDSCAPE BEDS AND TREE MULCH RINGS WITH ALUMINUM BED EDGING PER PLANT BED EDGING DETAILS. IF ORGANIC MULCH IS REQUIRED, CONTRACTOR SHALL PLACE ALUMINUM BED EDGING WHERE THERE IS A CHANGE IN MULCH TYPE OR OCCURRENCE. MULCH SHALL BE ALUMINUM AND BLACK IN COLOR. PERMALOC ALUMINUM ALLOY BLACK ANODIZED EDGING OR APPROVED EQUIVALENT. RE: DETAIL ON SHEET L01.3
7. SOD TYPE MATCH THAT OF THE SURROUNDING DEVELOPMENT. VERIFY TYPE OF SOD WITH OWNER PRIOR TO INSTALLATION.
8. IRRIGATION PLAN AND SPECIFICATIONS TO BE SUBMITTED FOR CONSTRUCTION DRAWINGS PER CODE REQUIREMENTS. SHOULD ANY OF THE PROPOSED LANDSCAPE CONFLICT WITH EXISTING OR PROPOSED SIGNAGE OR UTILITIES, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO PLANT INSTALLATION.
10. ALL EXISTING TURF GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED WITH NEW SOD OF SAME SPECIES OF EXISTING TURF.
11. CONTRACTOR TO OBTAIN ALL RELEVANT PERMITS FOR TREE REMOVAL AND PLANTING RENOVATIONS PRIOR TO STARTING WORK.
12. INSTALL AUTOMATIC IRRIGATION SYSTEM AS REQUIRED TO ACHIEVE 100% HEAD TO HEAD COVERAGE.
13. ALL PLANT MATERIALS TO BE INSTALLED SHALL BE NURSERY GROWN AND ROOT PRUNED STAKES FREE OF INJURY, DISEASE AND DEFECTS AND SHALL SATISFY THE REQUIREMENTS OF FLORIDA GRADE NO. 1 QUALITY OR BETTER AS DEFINED IN THE MOST CURRENT EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
14. ANY AREAS NOTED ON THE PLANS AS "SEED" OR "MULCH" WHERE THERE IS AN EXISTING LAWN AREA OR AN AREA OF NATURAL SOIL THAT IS DEEMED TO BE IN GOOD CONDITION, ANY INSTEAD BE MAINTAINED AS EXISTING, AREAS VOID OF VEGETATION OR GROUND COVER OR THAT EXHIBIT EVIDENCE OF EROSION, SHALL BE IMPROVED AS NECESSARY.

LANDSCAPE PROJECT #: -----

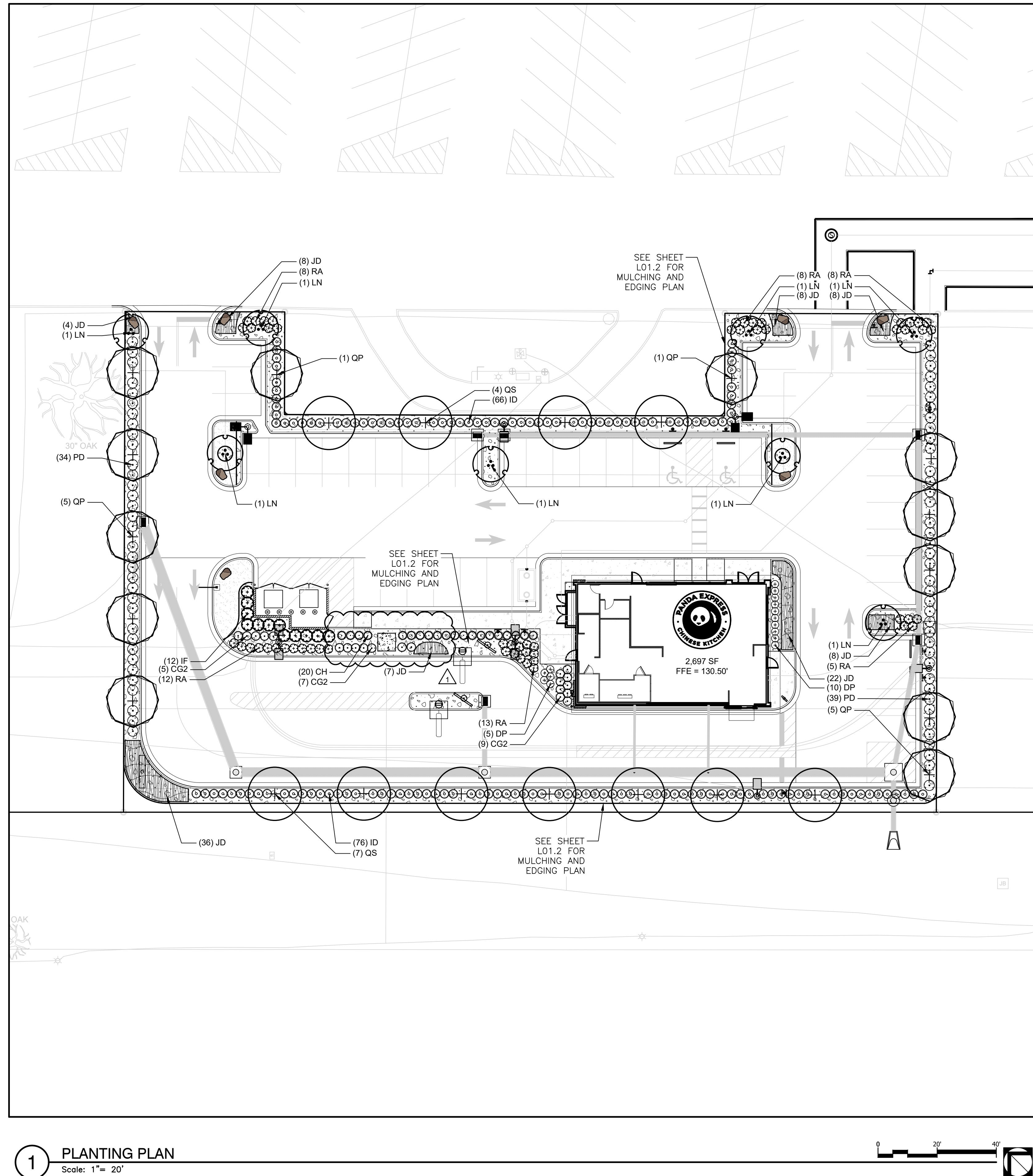
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JARED
ACY, PLA ON THE DATE ADJACENT TO THE SEAL ON THE COVER SHEET
(C01.0) USING A SHA AUTHENTICATION CODE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.

**24-HOUR CONTACT:
JOE CELENTO
912-272-4811**



PANDA HOME R4





STONE MULCH



SM

6,877 SF

MULCH

STONE MULCH

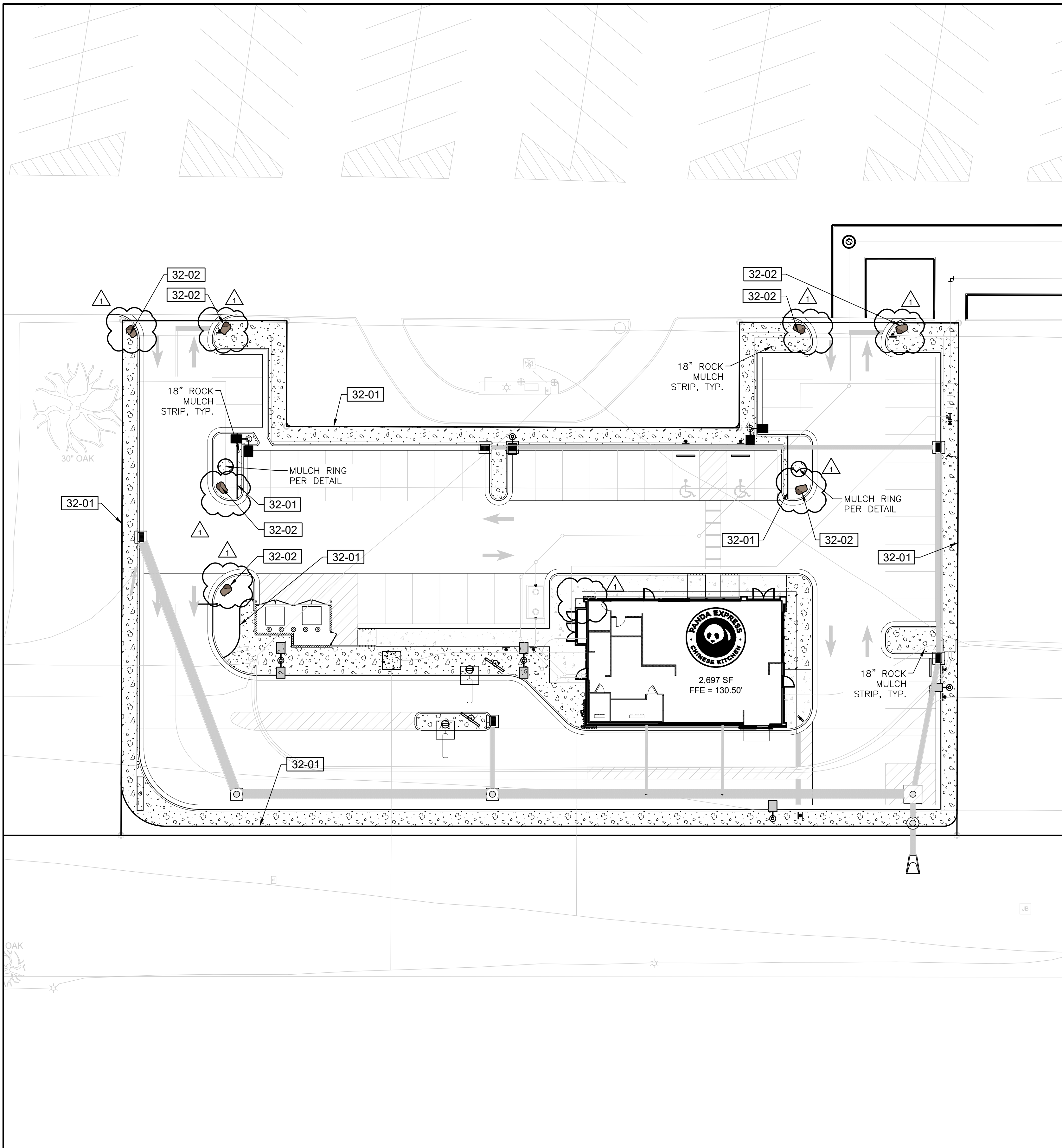
MULCH

1

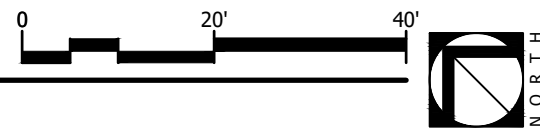
REFERENCE NOTES SCHEDULE

SYMBOL	32 EXTERIOR IMPROVEMENTS DESCRIPTION
32-01	ALUMINUM BED EDGING
32-02	4'X4'X4", 1,000-1,500 LBS BOULDER, COLOR TO BE APPROVED BY OWNER PRIOR TO PURCHASE

QUANTITY TAKEOFF DISCLAIMER:
QUANTITIES NOTED ON PLANS ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR FOR BID PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.



1 MULCHING AND EDGING PLAN
Scale: 1"= 20'



PANDA EXPRESS, INC.

1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770

TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

REVISIONS:

1 REVISION 1 02/21/2024

ISSUE DATE:

PERMIT/BID 12/06/2023

DRAWN BY: LDC @ WAS DESIGN, INC.

PANDA PROJECT #: D26523

PANDA STORE #: TBD

LANDSCAPE PROJECT #: -----



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY LARED
ACT, PLA ON THE DATE ADJACENT TO THE SEAL ON THE COVER SHEET
(C01.0) USING A SHA AUTHENTICATION CODE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.



MULCHING
AND EDGING
PLAN
L01.2

PANDA HOME R4



Pro 5 Weed Barrier



DeWitt Pro 5 Weed Barrier is a woven, needle-punched polypropylene fabric for commercial grade weed control. Specified by leading architects, the fabric is designed to allow air, water, and nutrients through. The fabric will not rot or mildew, and is formulated to resist uv degradation.

Property	Test Method	Unit	Minimum Average Roll Value
Woven Material			Polypropylene
Fiber Backing			Polyester
Color			Black with Gold Stripe every 12"
Construction Weave			15 x 10 or 10 x 15
Weight	ASTM D 5261	OZ/SY	5.0 Scrim 2.8 Cap 2.2
Grab Tensile Strength	ASTM D 4632	LBS	Warp 80 Weft 65
Grab Elongation	ASTM D 4632	%	Warp 15 Weft 15
Trapezoid Tear	ASTM D 4533	LBS	Warp 35 Weft 30
Puncture	ASTM D 6241	LBS	300
Water Permeability	ASTM D 4491	GAL/MIN/SF	10
Ultraviolet Exposure	ASTM D 4355	% Strength Retained	>70% after 2500 Hrs Carbon Arc Exposure

Date: 12/13/16. This data sheet supersedes all previously issued data.
The above properties are typical averages.
THIS INFORMATION RELATES ONLY TO THE SPECIFIC MATERIAL DESIGNATED AND MAY NOT BE VALID FOR SUCH MATERIAL USED IN COMBINATION WITH ANY OTHER MATERIALS OR IN ANY PROCESS. SUCH INFORMATION IS TO THE BEST OF OUR KNOWLEDGE AND BELIEF. ACCURATE AND RELIABLE AS THE DATE COMPILED. HOWEVER NO REPRESENTATION, WARRANTY OR GUARANTEE IS MADE AS TO ITS ACCURACY, RELIABILITY OR COMPLETENESS. IT IS THE USER'S RESPONSIBILITY TO SATISFY HIMSELF AS TO THE SUITABILITY AND COMPLETENESS OF SUCH INFORMATION FOR HIS OWN PARTICULAR USE. WE DO NOT ACCEPT LIABILITY FOR ANY LOSS OR DAMAGE THAT MAY OCCUR FROM THE USE OF THIS INFORMATION NOR DO WE OFFER ANY WARRANTY AGAINST PATENT INFRINGEMENT.




905 South Kingshighway Sikeston, MO 63801
www.dewittcompany.com
573.472.0048 phone / 800.888.9669 / 573.471.6715 fax

THE ABOVE IS THE MINIMUM STANDARD. OTHER BRANDS MAY BE SUBSTITUTED AS LONG AS THE SPECIFICATIONS ARE MET OR EXCEEDED. HOWEVER, ANY SUBSTITUTION MUST BE SUBMITTED BY THE CONTRACTOR FOR PANDA PM APPROVAL, PRIOR TO INSTALLATION.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT	REMARKS
TREES								
	LN	8	LAGERSTROEMIA INDICA 'NATCHEZ'	'NATCHEZ' CRAPE MYRTLE	B&B OR CONT	1.5"CAL	8'-10'	MINIMUM 3 TRUNKS; FULL HEAD
	QP	12	QUERCUS PHELLOS	WILLOW OAK	B&B OR CONT	2.5"CAL	10'-12'	FULL HEAD, SPECIMEN QUALITY
	QS	11	QUERCUS SHUMARDII	SHUMARD RED OAK	B&B OR CONT	2.5"CAL	10'-12'	FULL HEAD, SPECIMEN QUALITY
	IF	12	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	B&B OR CONT		6'-8'	SPECIMEN QUALITY

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	W	SPACING	REMARKS
SHRUBS									
	RA	54	ABELIA X GRANDIFLORA 'RADIANCE'	RADIANCE ABELIA	3 GAL			36" o.c.	FULL FORM
	CG2	21	CAMELLIA SASANQUA 'WHITE DOVES'	WHITE DOVES CAMELLIA	7 GAL			36" o.c.	FULL FORM
	CH	20	ILEX CORNUTA 'CARISSA'	CARISSA HOLLY	3 GAL			36" o.c.	FULL FORM
	ID	142	ILEX CORNUTA 'DWARF BURFORD'	DWARF BURFORD HOLLY	3 GAL			36" o.c.	FULL FORM
	PD	73	LOROPETALUM CHINENSE 'RUBY'	RUBY LOROPETALUM	3 GAL			42" o.c.	FULL FORM
	DP	15	PODOCARPUS MACROPHYLLUS 'DWARF PRINGLES'	DWARF PRINGLES PODOCARPUS	7 GAL			30" o.c.	FULL FORM

SHRUB AREAS									
	JD		JUNIPERUS CHINENSIS 'PARSONII'	PARSON'S JUNIPER	3 GAL			30" o.c.	FULL FORM
									
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	SPACING	REMARKS	

SOD/SEED									
	SOD	535 SF	CYNODON DACTYLON 'TIF 419'	BERMUDA GRASS	NA				WELL ROOTED HEALTHY SOD

STONE MULCH									
	SM	6,877 SF	MULCH	STONE MULCH	MULCH				

IRRIGATION NOTE:
ALL LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM THAT SHALL PROVIDE 100% HEAD-TO-HEAD COVERAGE.

QUANTITY TAKEOFF DISCLAIMER:
QUANTITIES NOTED ON PLANS ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR FOR BID PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
TELEPHONE: 626.799.9898
FACSIMILE: 626.372.8288

REVISIONS:
REVISION 1 02/21/2024

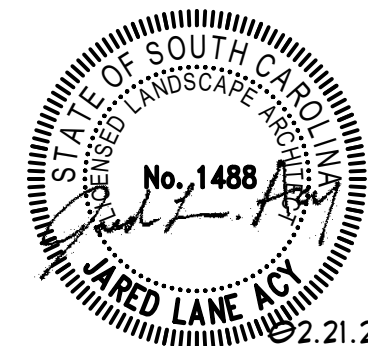
ISSUE DATE:
PERMIT/BID 12/06/2023

DRAWN BY: LDC @ WAS DESIGN, INC.

PANDA PROJECT #: D26523
PANDA STORE #: TBD
LANDSCAPE PROJECT #: -----



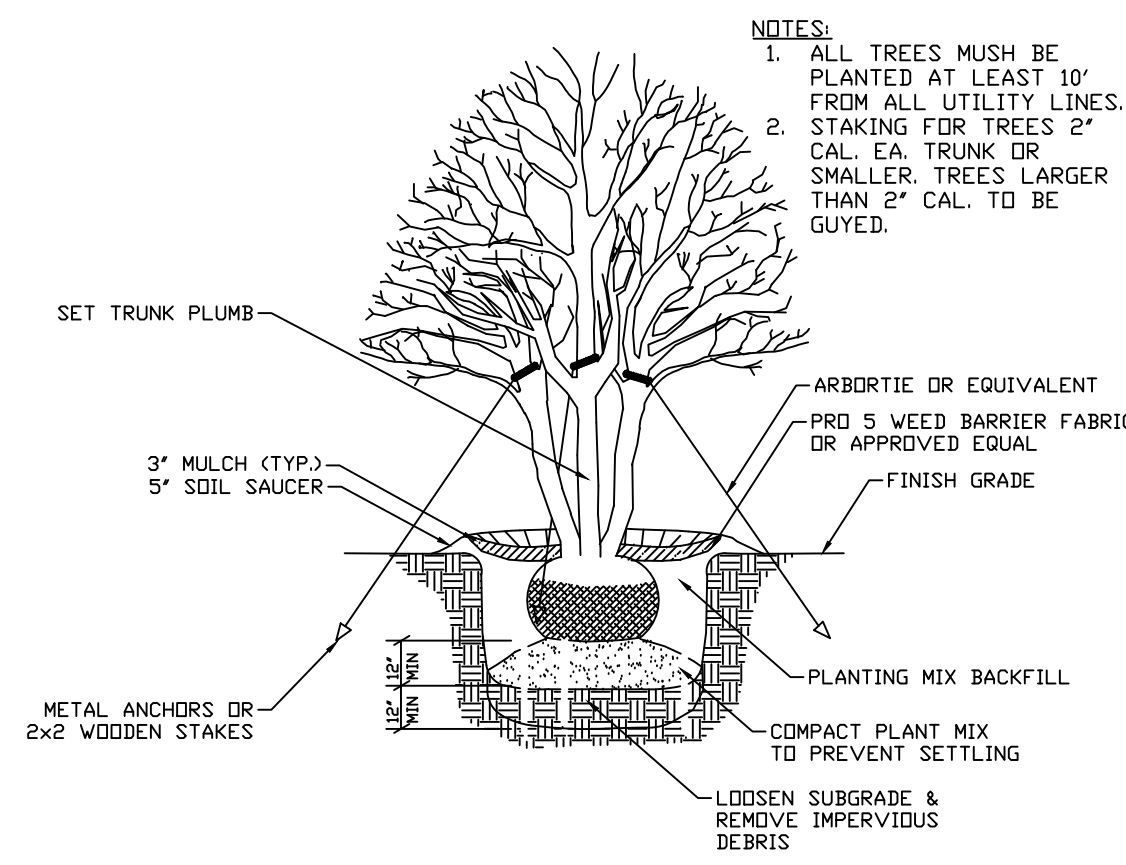
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JARED ACY, PLA ON THE DATE ADJACENT TO THE SEAL ON THE COVER SHEET (C01.0) USING A SHA AUTHENTICATION CODE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



PLANTING
SCHEDULE

L01.3

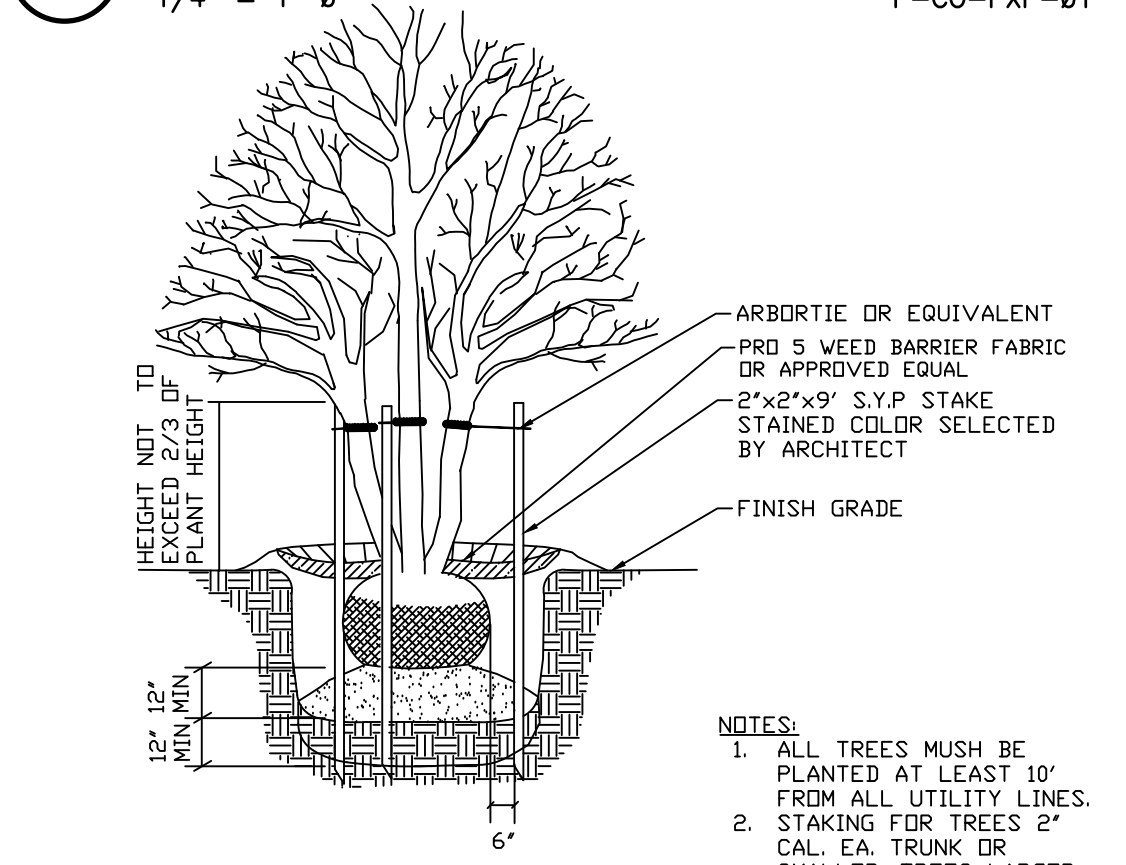
PANDA HOME R4



1 MULTI-TRUNK TREE PLANTING

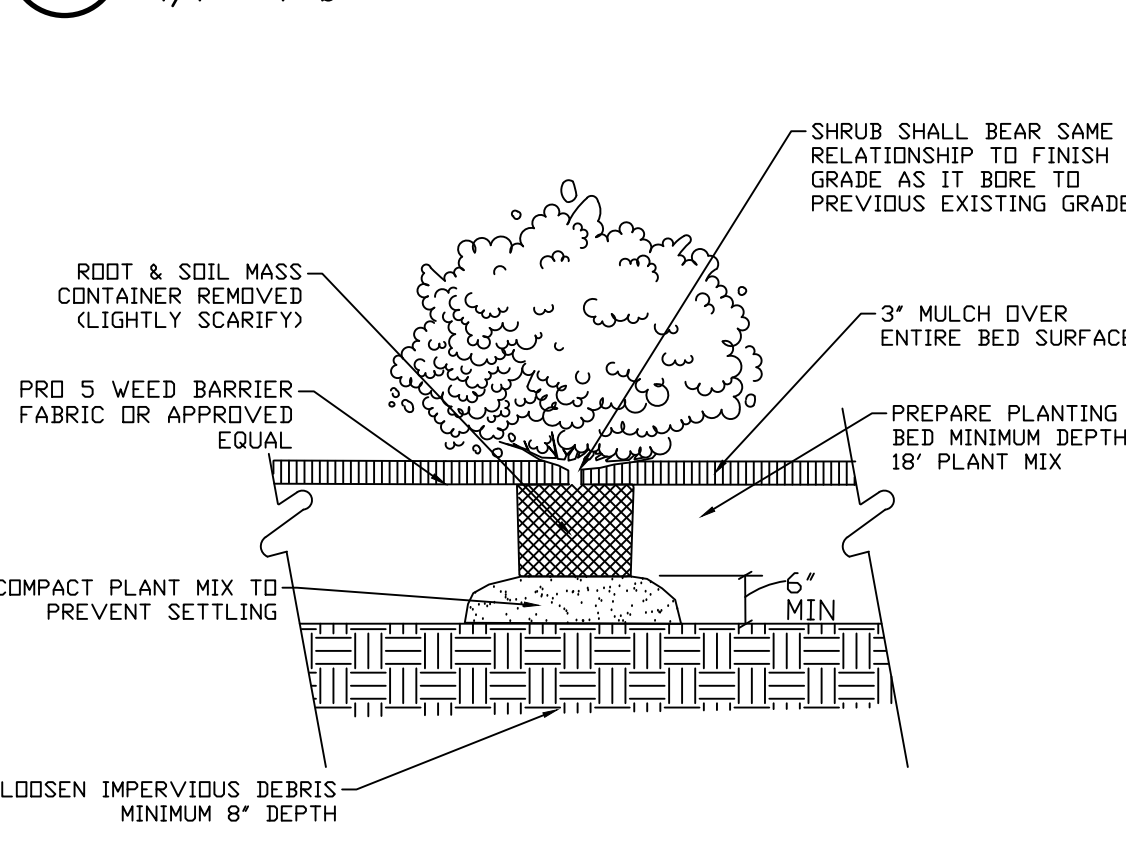
1/4" = 1'-0"

P-CO-PXP-01



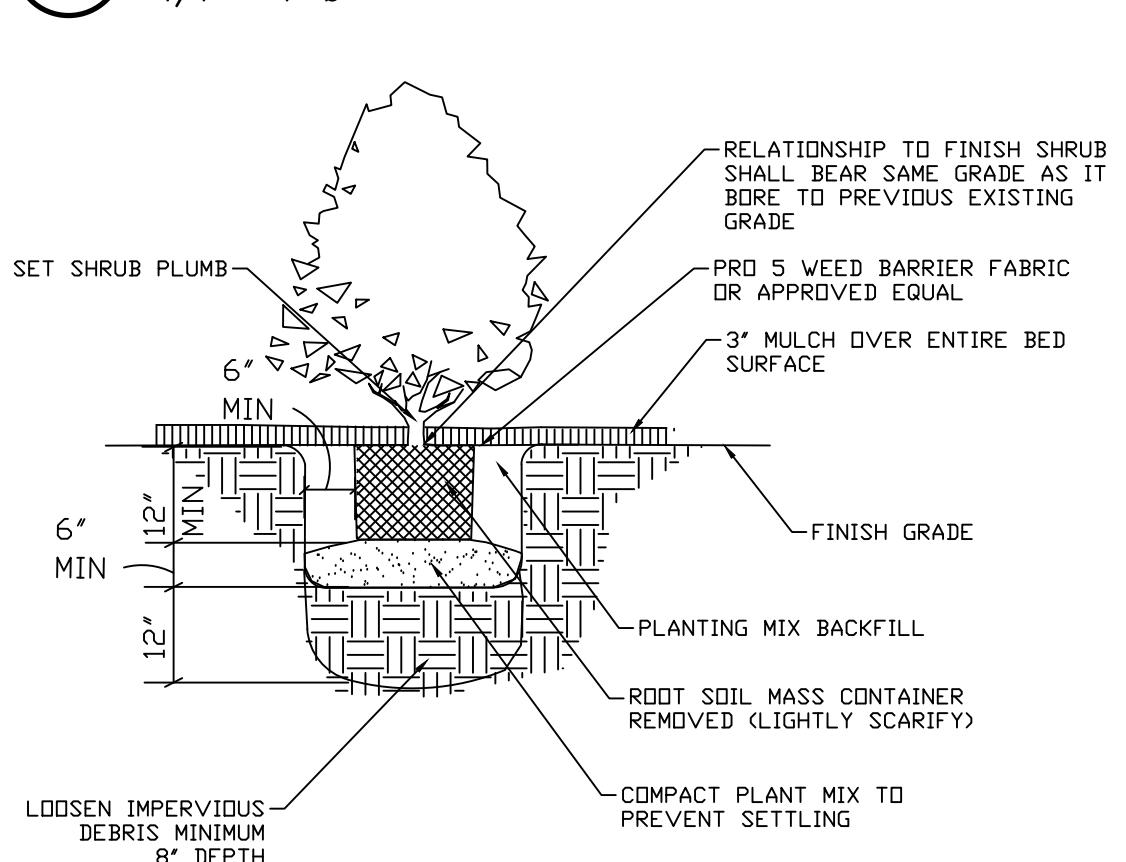
2 MULTI-TRUNK TREE STAKING

1/4" = 1'-0"



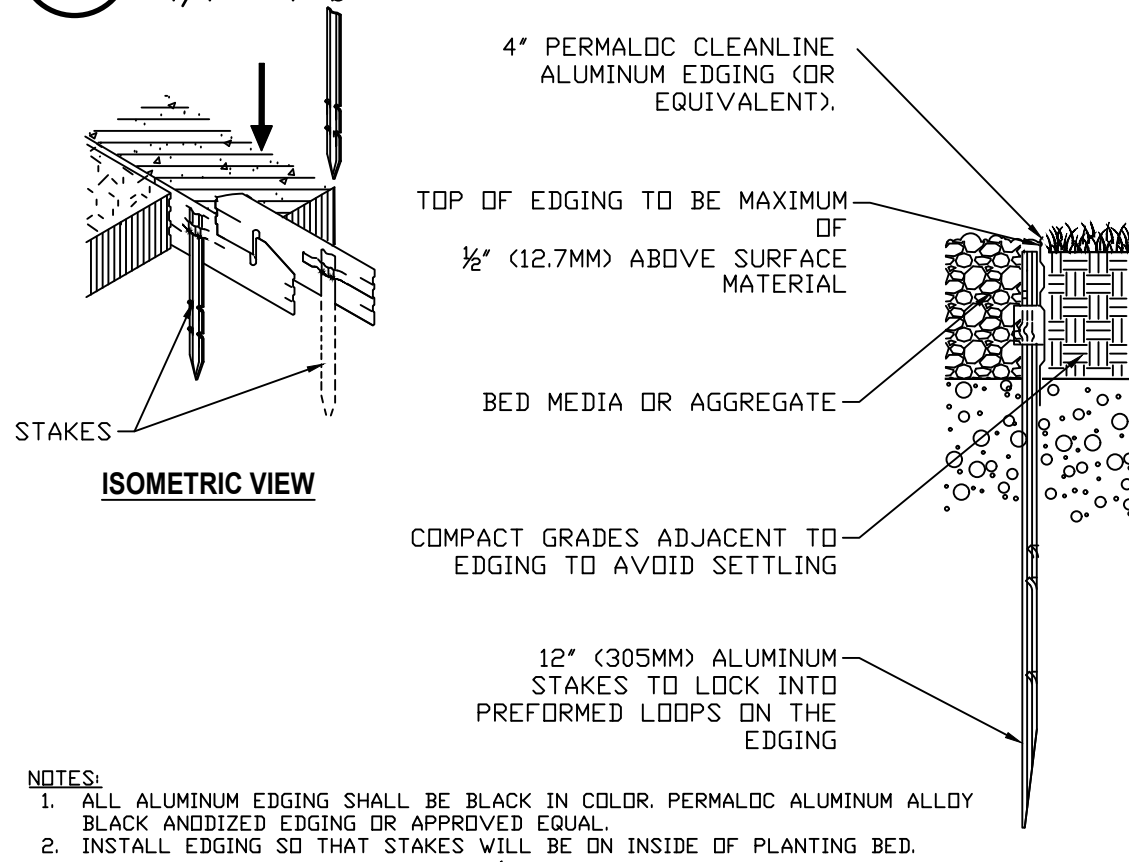
3 EVERGREEN TREE PLANTING

1/4" = 1'-0"



4 TYPICAL TREE PLANTING AND GUYING

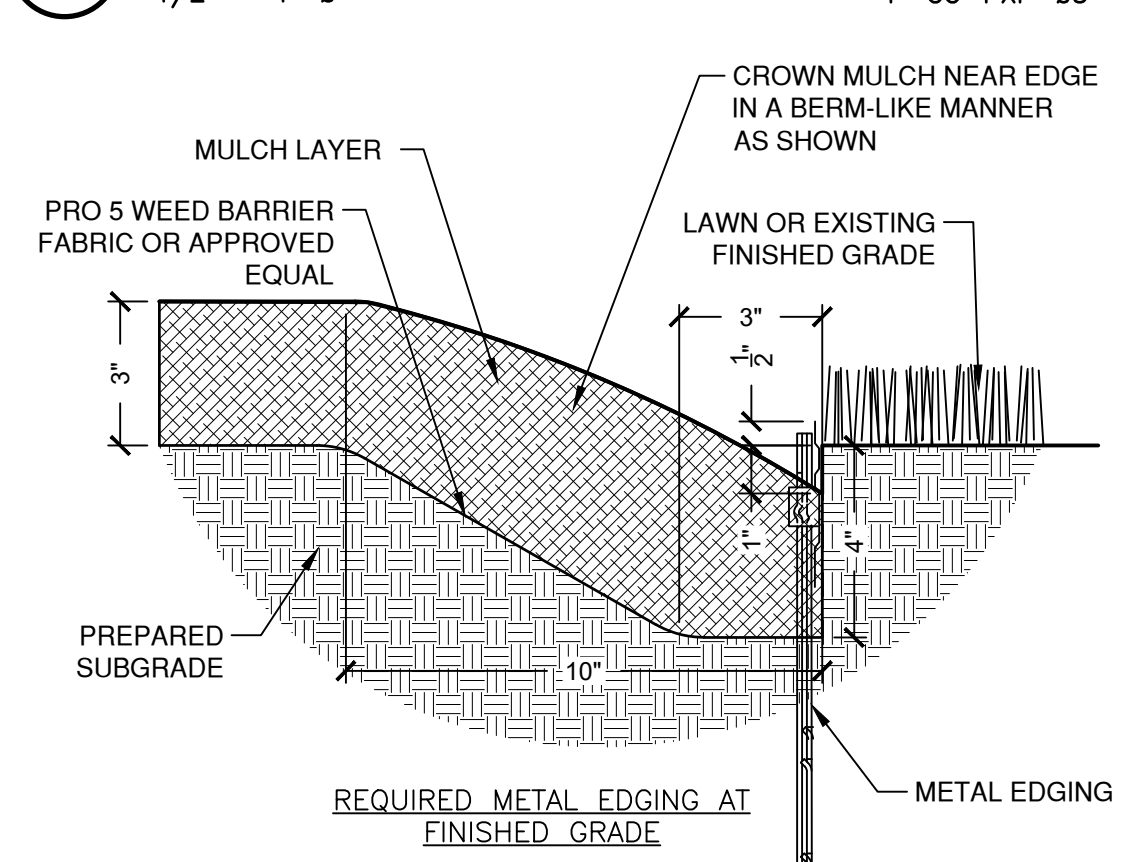
1/4" = 1'-0"



5 PLANTS SPACED LESS THAN 36" O.C.

1/2" = 1'-0"

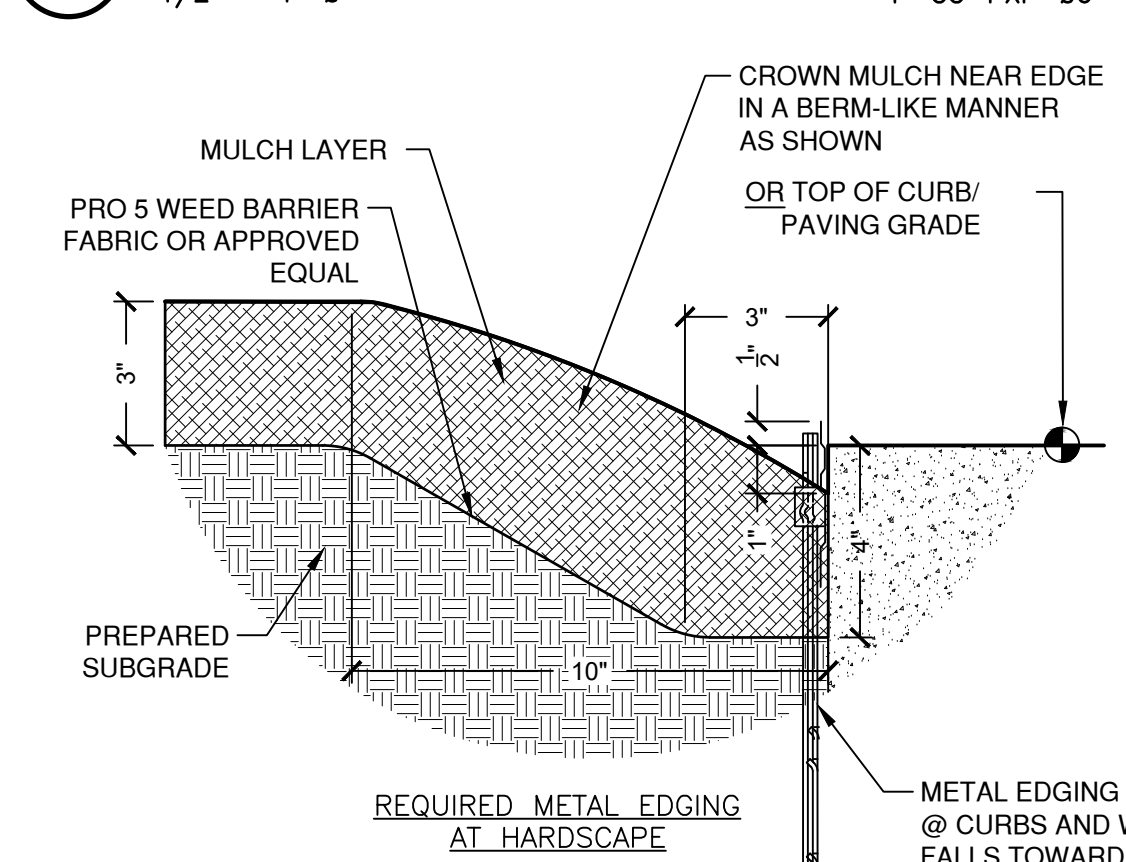
P-CO-PXP-05



6 CONTAINERIZED SHRUB PLANTING

1/2" = 1'-0"

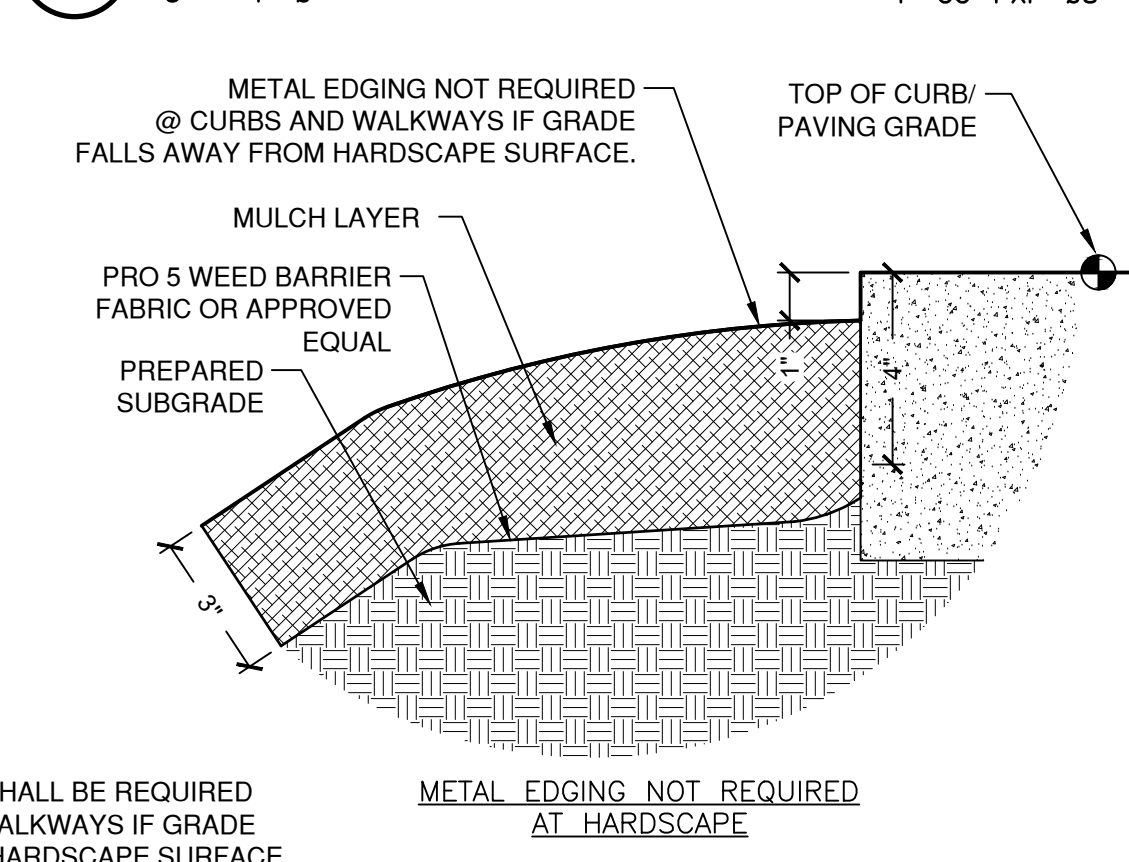
P-CO-PXP-06



7 METAL EDGING STAKING

3" = 1'-0"

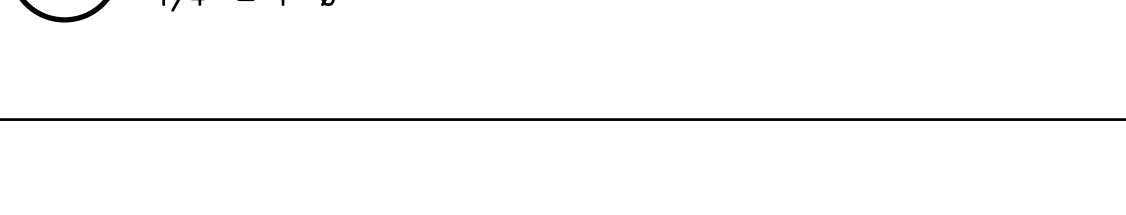
P-CO-PXP-08



8 PLANT BED EDGING

1/4" = 1'-0"

P-CO-PXP-10



- DELIVERY, STORAGE AND HANDLING:**
- DELIVER MATERIALS IN SUCH A MANNER AS TO NOT DAMAGE OR DECREASE THE HEALTH AND VIGOR OF THE PLANT MATERIALS.
 - STORE MATERIALS AWAY FROM DETRIMENTAL ELEMENTS. COORDINATE WITH GENERAL CONTRACTOR TO SECURE A SAFE STAGING AREA.
 - HANDLE, LOAD, UNLOAD, AND TRANSPORT MATERIALS CAREFULLY TO AVOID DAMAGE.
 - MAINTAIN AND PROTECT PLANT MATERIALS AS NECESSARY TO INSURE HEALTH AND VIGOR.

GUARANTEE:
GUARANTEE PLANT MATERIALS AND LAWN AREAS FOR YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL REPLACE PLANTS AND LAWNS, THAT FAIL TO GROW PROPERLY WITH PLANTS AS ORIGINALLY SPECIFIED AT THE EARLIEST PRACTICAL DATE FOLLOWING PLANT FAILURE, WITHOUT ADDITIONAL CHARGES TO THE OWNER. REPLACEMENT MATERIALS WILL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF REPLACEMENT. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR REPLACING PLANTS WHICH ARE DAMAGED BY ABUSE OR IMPROPER MAINTENANCE BY OWNER, OR BY ACTS OF GOD OCCURRING AFTER ACCEPTANCE.

- MATERIAL FOR STAKING:**
- STAKES FOR SUPPORTING TREES SHALL BE SOUND TIMBER, STRAIGHT, SIZED AS SHOWN IN PLANTING DETAILS AND OF SUFFICIENT LENGTH TO ADEQUATELY SUPPORT THE PLANT.
 - DEADMEN OR STAKES FOR ANCHORING STRAPS IN THE GROUND SHALL BE OF SIZE MATERIAL, AND STRENGTH ADEQUATE TO HOLD STRAPS TIGHT AND MAINTAIN TREE FIRMLY IN AN UPRIGHT POSITION.

GUYING, STAKING AND MULCHING:

- USE ARBORTIE OR EQUIVALENT FOR ANY NEEDED STAKING TO ELIMINATE USE OF WIRE AND HOSE. STRAPS SHALL BE WIDE, SOFT, FLEXIBLE MATERIAL MANUFACTURED FOR THE PURPOSE OF TREE ANCHORING SUCH AS WOVEN POLYPROPYLENE WEBBING. ANY STAKING MATERIAL IS TO BE REMOVED AFTER THE FIRST GROWING SEASON.

- STAKE TREES TWO-INCH CALIPER AND OVER. SPACE THREE STRAPS EQUALLY ABOUT EACH TREE, ATTACHED AT APPROXIMATELY TWO-FIFTHS UP THE TRUNK. STRAPS SHOULD BE AT A 45-DEGREE ANGLE AND ANCHORED IN THE GROUND WITH STAKES. THESE STRAPS SHALL BE EQUALLY TIGHT.

- STAKE TREES LESS THAN TWO INCHES CALIPER WITH TWO OR THREE WOOD STAKES DRIVEN TWO FEET INTO THE GROUND WITH THE POINTS EXTENDING ABOVE THE GROUND APPROXIMATELY ONE-HALF OF THE TRUNK HEIGHT. STAKE ONE FOOT FROM TRUNK, FASTENED AT APPROXIMATELY TWO-FIFTHS OF TRUNK HEIGHT.

- PRIOR TO INSTALLING MULCH MATERIAL, ALL PLANTING BEDS SHALL BE COVERED WITH LANDSCAPE FABRIC IN AN EFFORT TO REDUCE WEEDS. LANDSCAPE FABRIC SHALL BE JEWITT 5 OZ GEOTEXTILE OR APPROVED EQUAL. TWO TO THREE INCHES OF MULCH MATERIAL SHALL BE PLACED ON TOP OF THE LANDSCAPE FABRIC.

- MULCH ALL PLANTING BEDS AND OTHER AREAS DESIGNATED TO BE MULCHED (WITH THE EXCEPTION OF ANY ANNUAL, SEASONAL COLOR OR PERENNIAL BEDS) WITH TWO TO THREE INCHES OF RIVER ROCKS, ROCKS SHALL BE BETWEEN 1" AND 3" IN SIZE. OWNER TO APPROVE MULCH TYPE FOR SEASONAL COLOR OR PERENNIAL BEDS PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE A MULCH MATERIAL SAMPLE TO OWNER PRIOR TO INSTALLATION FOR COLOR, TYPE AND SIZE APPROVAL. ALL RIVER ROCKS SHALL BE RINSED CLEAN ON SITE PRIOR TO INSTALLATION IN PLANTING BEDS. IF JURISDICTION DOES NOT ALLOW ROCK-MULCH, CONTRACTOR SHALL NOT USE UNACCEPTABLE MULCHES. CONTRACTOR TO ENSURE MULCH IS PROPERLY INSTALLED AND NO MULCH WASHES ONTO ANY PAVED SURFACES POST CONSTRUCTION. THIS MAY REQUIRE THE INSTALLATION OF ADDITIONAL EDGING NOT SHOWN ON THE LANDSCAPE PLAN.

- UNACCEPTABLE MULCHES:**
- PINE STRAW MULCH
 - PINE BARK MULCH

- EXCAVATION FOR PLANTING TREES AND SHRUBS:**
- CIRCULAR PLANT PITS WITH VERTICAL SIDES SHALL BE DUG BY HAND OR MACHINE METHODS FOR PLANTING OF TREES AND SHRUBS.

- TREE PIT DIAMETERS SHALL BE A MINIMUM OF TWO FEET GREATER THAN THE SPREAD OF THE ROOT MASS.

- SHRUB PIT DIAMETER SHALL BE A MINIMUM OF ONE FOOT GREATER THAN THE SPREAD OF THE ROOT MASS.

- CONTRACTOR SHALL TEST EXCAVATED PLANT PITS TO SATISFY THAT SUFFICIENT DRAINAGE IS PRESENT FOR PROPER PLANT SURVIVAL.

- IF THE INDIVIDUAL PITS ARE ARRANGED IN A GROUP, THE AREA BETWEEN PITS SHALL BE FILLED TO THE REQUIRED GRADE WITH EXISTING SOIL AND MULCHED WITH MULCH MATERIAL THREE INCHES DEEP. PLANT BEDS SHALL BE NEATLY EDGED AND KEPT FREE OF WEEDS UNTIL THE WORK IS ACCEPTED.

TOPSOIL:
TOPSOIL SHALL BE FERTILE, FRIABLE, SANDY LOAM, AND SHALL BE NATURAL SURFACE SOIL OBTAINED FROM WELL DRAINED AREAS. TOPSOIL SHALL BE CHARACTERISTIC OF REPRESENTATIVE SOILS IN THE PROJECT VICINITY THAT PRODUCE HEAVY GROWTHS OF CROPS, GRASS OR OTHER VEGETATION. TOPSOIL SHALL BE FREE OF SUBSOIL, BRUSH, ORGANIC LITTER, OBJECTIONABLE WEEDS, CLAY, CLOTS, STUMPS, ROOTS OR OTHER MATERIAL HARMFUL TO PLANT GROWTH OR HINDRANCE TO PLANTING OR MAINTENANCE OPERATIONS. SHOULD REGENERATIVE MATERIALS BE PRESENT IN THE SOIL, CONTRACTOR SHALL ERADICATE AND REMOVE SUCH GROWTH, BOTH SURFACE AND ROOT, WHICH MAY APPEAR IN THE IMPORTED MATERIAL WITHIN ONE YEAR FOLLOWING ACCEPTANCE OF THE WORK. TOPSOIL SHALL NOT BE HANDLED IN FROZEN OR MUDDY CONDITION. THE ACIDITY RANGE SHALL BE BETWEEN 5.0 AND 7.0 INCLUSIVE.

FERTILIZER:

- FERTILIZER FOR ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE STA GREEN NURSERY SPECIAL OR EQUIVALENT AND DELIVERED TO THE SITE IN UNOPENED CONTAINERS.
- FERTILIZER FOR GRASS SHALL BE STA-GREEN FERTILIZER OR EQUIVALENT CONTAINING THE FOLLOWING PERCENTAGES BY WEIGHT:
10% NITROGEN
24% PHOSPHOROUS
10% POTASH
- FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING, AND SHALL LIST THE MANUFACTURER'S GUARANTEED ANALYSIS. FERTILIZER SHALL NOT HAVE BEEN EXPOSED TO WEATHER PRIOR TO DELIVERY TO THE SITE. AFTER DELIVERY UNTIL USED, IT SHALL BE COMPLETELY PROTECTED AT ALL TIMES. IT SHALL NOT BE STORED IN CONTACT WITH THE THE GROUND.

LANDSCAPE BED EDGING:
CONTRACTOR SHALL EDGE ALL LANDSCAPE BEDS AND TREE MULCH RINGS WITH ALUMINUM BED EDGING PER PLANT BED EDGING DETAILS. IF ORGANIC MULCH IS REQUIRED, CONTRACTOR SHALL PLACE ALUMINUM BED EDGING WHERE ANY CHANGE IN MULCH TYPES OCCUR. EDGING SHALL BE ALUMINUM AND BLACK IN COLOR, PERMALOC ALUMINUM ALLOY BLACK ANODIZED EDGING OR EQUIVALENT.

DRAINAGE TEST

- REPRESENTATIVE TREE AND SHRUB PITS FROM EACH PLANTING AREA SHALL BE FILLED WITH WATER. IF PERCOLATION IS LESS THAN 100 TWELVE-INCH AUGER TO A DEPTH OF FOUR FEET BELOW THE BOTTOM OF THE TREE PIT, RETEST THE PIT. IN CASE DRAINAGE IS STILL UNSATISFACTORY, NOTIFY THE LANDSCAPE ARCHITECT, IN WRITING OF THE CONDITION BEFORE PLANTING TREES IN THE QUESTIONABLE AREAS. CONTRACTOR IS FULLY RESPONSIBLE FOR THE WARRANTY OF PLANTINGS.
- GROUNDCOVER BEDS SHALL ALSO BE SPOT TESTED FOR DRAINAGE.
- DISPOSE OF SUBSOIL REMOVED FROM LANDSCAPE EXCAVATIONS. DO NOT MIX WITH THE PLANTING SOIL. DO NOT USE AS BACKFILL OR USE TO CONSTRUCT SAUCERS AROUND PITS.

SETTING TREES, SHRUBS AND GROUNDCOVERS:

- BALLED AND CONTAINER PLANTS SHALL BE PLACED FIRMLY UPON SCARIFIED SUB-GRADE AND BACKFILLED WITH PLANTING SOIL MIXTURE. REMOVE ALL WIRE, CARDS AND BURLAP FROM TOP OF ROOT BALL. HAND TAMP CAREFULLY AROUND AND UNDER BALL TO FILL ALL VOIDS. WATER DURING BACKFILLING. FORM SAUCER FROM PLANTING SOIL MIXTURE IN ORDER TO RETAIN WATER.

- GENTLY LOOSEN OUTER ROOTS OF CONTAINER GROWN PLANTS TO ENCOURAGE OUTWARD GROWTH.

- FERTILIZER SHALL BE THOROUGHLY MIXED AND SOAKED INTO THE TOP TWO INCHES OF SOIL FOR ALL PLANT PITS.

TREE TRANSPORTATION:
THE CONTRACTOR SHALL BE RESPONSIBLE NOT ONLY FOR THE SAFE TRANSPORTATION OF THE PLANTS TO THE SITE BUT ALSO THEIR CONDITION UPON ARRIVAL. TREES WITH ABRASIONS OF THE BARK, SUNSCALDS, FRESH CUTS OR BREAKS OF LIMBS WHICH HAVE NOT COMPLETELY CALLOUSED WILL BE REJECTED. TREES WHICH HAVE BEEN DAMAGED DURING TRANSIT WILL BE REPLACED BY CONTRACTOR AT NO ADDITIONAL COST. ALL PLANT UNIT COSTS WILL REFLECT ALL THE ABOVE LISTED SPECIFICATIONS.

PRUNING:

- DECIDUOUS TREES AND SHRUBS SHALL HAVE DEAD, BROKEN AND CROWDED WOOD PRUNED TO COMPENSATE FOR THE LOSS OF ROOTS IN TRANSPANTING. REQUESTED AND REQUIRED ADDITIONAL PRUNING MAY BE NECESSARY AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.

- EVERGREEN TREES AND SHRUBS SHALL BE PRUNED ONLY TO THINK OUT HEAVY GROWTH.

- CUTS OVER 3/4 INCH IN DIAMETER SHALL BE PAINTED WITH TREE DRESSING PAINT. NO PAINT CONTAINING LEAD SHALL BE PERMITTED.

PREPARATION OF GRASS AREAS:

- FINE GRADE ALL GRASS AREAS TO FINISH GRADE. ALL AREAS SHALL HAVE SMOOTH AND CONTINUAL GRADE BETWEEN THE EXISTING AND FIXED CONTROLS SUCH AS WALKS AND CURBS. ROLL, SCARIFY, RAKE AND LEVEL AS NECESSARY TO OBTAIN TRUE, EVEN AND FIRM LAWN SURFACES. ALL FINISHED GRADES SHALL MEET APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE BEFORE GRASSING OPERATIONS BEGIN.

- AREAS TO RECEIVE GRASS
 - TYPE OF TURF TO BE APPROVED BY OWNER.
 - CONTRACTOR TO BE RESPONSIBLE FOR FIELD VERIFICATION OF SOD AREAS TO CONFIRM SQUARE FOOTAGES.
- GRADE WILL BE BROUGHT TO THE LEVEL OF +/- 1" OF THE FINISHED GRADE BY THE GENERAL CONTRACTOR. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR THE TOP +/- 1" OF SOIL WORK. THIS IS TO INCLUDE ALL TOPSOIL HAULING AND PLACEMENT; SPREADING; DEBRIS REMOVAL AND ANY GRADING REQUIRED TO BRING THE FINISHED TOPSOIL GRADE TO THE PROPER LEVEL FOR GRASS.
- THOROUGHLY TILL EXISTING SOIL TO A MINIMUM DEPTH OF FOUR INCHES BY RUNNING TILLING DEVICE TWO DIRECTIONS AT RIGHT ANGLES OVER THE ENTIRE SURFACE TO BE GRASSED. FINE GRADE TO ACHIEVE UNIFORMITY AND DRAINAGE.
- SPREAD SPECIFIED FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS.
- WORK SOIL TO A UNIFORM GRADE SO THAT ALL AREAS HAVE POSITIVE DRAINAGE AWAY FROM DRIVES, BUILDINGS AND LANDSCAPED AREAS.
- CONTRACTOR TO COORDINATE WITH OWNER FOR TURF SELECTION PRIOR TO INSTALLATION.

CLEANUP & PROTECTION:

- DURING PLANTING OPERATIONS KEEP PROJECT SITE CLEAN AND ORDERLY.
- UPON COMPLETION OF WORK, CLEAR GROUNDS OF DEBRIS, SUPERFLUOUS MATERIALS AND ALL EQUIPMENT. REMOVE FROM SITE TO SATISFACTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- PROTECT ALL WORK AND MATERIALS FROM DAMAGE DUE TO IRRIGATION OPERATIONS AND OPERATIONS BY OTHER CONTRACTORS, TRADES, AND TRESPASSERS. MAINTAIN PROTECTION UNTIL DATE OF SUBSTANTIAL COMPLETION.
- CONTRACTOR IS RESPONSIBLE FOR THEFT OF EQUIPMENT AND MATERIAL AT THE JOB SITE BEFORE, DURING AND AFTER INSTALLATION, UNTIL DATE OF SUBSTANTIAL COMPLETION OF THE WORK IN TOTAL.



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMead, CALIFORNIA 91770
TELEPHONE: 626.799.9888
FACSIMILE: 626.372.8288

REVISIONS:

REVISION	DATE
1	02/21/2024

ISSUE DATE:
PERMIT/BID 12/06/2023

DRAWN BY: LDC @ WAS DESIGN, INC.

PANDA PROJECT #: D26523
PANDA STORE #: TBD
LANDSCAPE PROJECT #: -----

landscape architecture
land planning
placemaking
was DESIGN
landscape architects
Foley, Alabama
P. 251.948.7181
Mobile, Alabama
P. 251.344.4023
Jackson, Mississippi
P. 601.790.0781
Pensacola, Florida
P. 850.203.4252
www.was-design.com

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY IARED ACT. PLA ON THE DATE ADJACENT TO THE SEAL ON THE COVER SHEET (C01.0) USING A SHA AUTHENTICATION CODE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



**PLANTING
DETAILS AND
SPECIFICATIONS**
L01.4



PANDA EXPRESS, INC.

1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770

TELEPHONE: 626.799.9888
FACSIMILE: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

01 02/21/2024 CITY COMMENTS

ISSUE DATE:

PERMIT/BID 12/14/2023

PERMIT 02/21/2024

DRAWN BY: DA

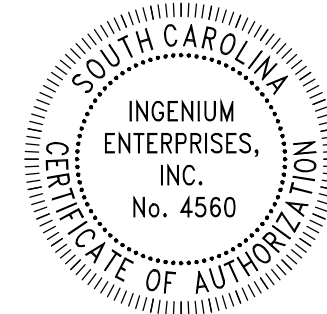
PANDA PROJECT #: D26523

PANDA STORE #: 3877

CIVIL PROJECT #: 230013



INGENIUM ENTERPRISES, INC.
5991 PARKWAY NORTH BLVD.
SUITE A
CUMMING, GEORGIA 30040
PHONE: (770) 437-8850
SOUTH CAROLINA CERT. OF
AUTHORITY #4560



SITE LIGHTING PLAN

SL01.0

PANDA HOME

